

August 17, 2022

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Creating a dynamic guide for Tuscaloosa

Call to Order

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Welcome

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Staff

Ashley Crites, AICP, Executive Director

Zach Ponds, CNU-A, Acting Director of Planning

Will Smith, Associate Director of Planning

Jimbo Woodson, Deputy City Attorney

Planning Commission Members

Bill Wright, Chair

Tim Harrison, Vice-Chair

Vince Dooley

Estella Hare

Anne Hornsby

Eddie Pugh

Councilwoman Raevan
Howard Williams

Dena Prince

Steven Rumsey



Disclosure of Possible Conflicts

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A group of people are gathered around a table in a meeting room, looking at documents and talking. The scene is dimly lit, with a dark overlay. The people are wearing name tags and are focused on the work at hand. A sign on the table reads 'TABLE 8'.

Meeting Expectations

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Meeting Expectations

- **Steering Committee:**
 - *Will **note role in process** (state that they were a Steering Committee member at the podium/on record) if providing public comment*

Meeting Expectations

Planning and Zoning Commission Members:

- Should **review** draft code articles as provided in advance of the meetings
- Should **refrain from arguing** with public commenters
- Should **listen**, ask questions only if you do not understand and need **clarification**, be **respectful**, and desire an expedited proceeding

Meeting Expectations

All:

- Meetings will **begin at 5pm and end at 7pm**
 - If a topic is not finished, it will roll into the next scheduled meeting.
- A **three-minute timer** will be used and visible to all parties (PZC, staff, public)
 - Only the PZC members can grant a specified time extension
- Staff will **manage the flow** of the meeting for efficiency

The code rewrite will...

- Maintain what works today and update what does not
- Make the code more user-friendly
- Implement the Comprehensive Plan's recommendations
- Redefine or consolidate some existing zoning districts and add new districts.
- Update development standards and permitted uses

Zoning Ordinance Update Process

1. Zoning Text

- a. Purpose, Intensity, Dimensional Standards*
- b. Development Standards*
- c. Use Standards*

2. Zoning Map

Zoning Code Articles

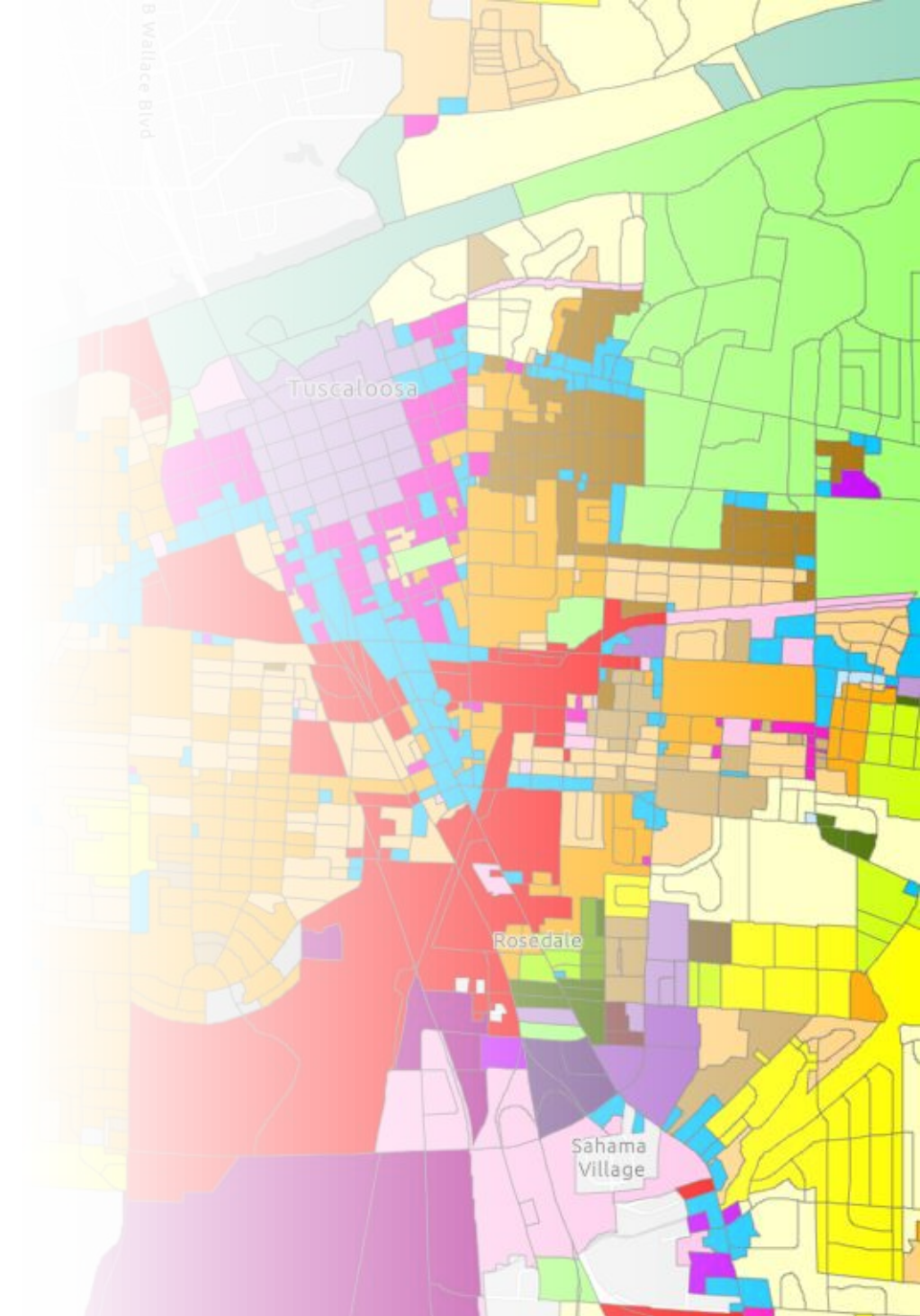
1. General Provisions
2. Definitions and Rules for Measurement
3. Administration
4. **Zoning Districts**
5. Use Regulations
6. Development Standards
7. Enforcement
8. Nonconformities

Article 4: Zoning Districts

Purpose: This article establishes the more than 30 zoning districts that will regulate land use and development

Each district includes:

- Purpose
- Dimensional and Intensity standards
- References to other relevant standards



Future Land Use Character Map

Planning v. Zoning

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Future Land Use Categories vs Zoning

Example:

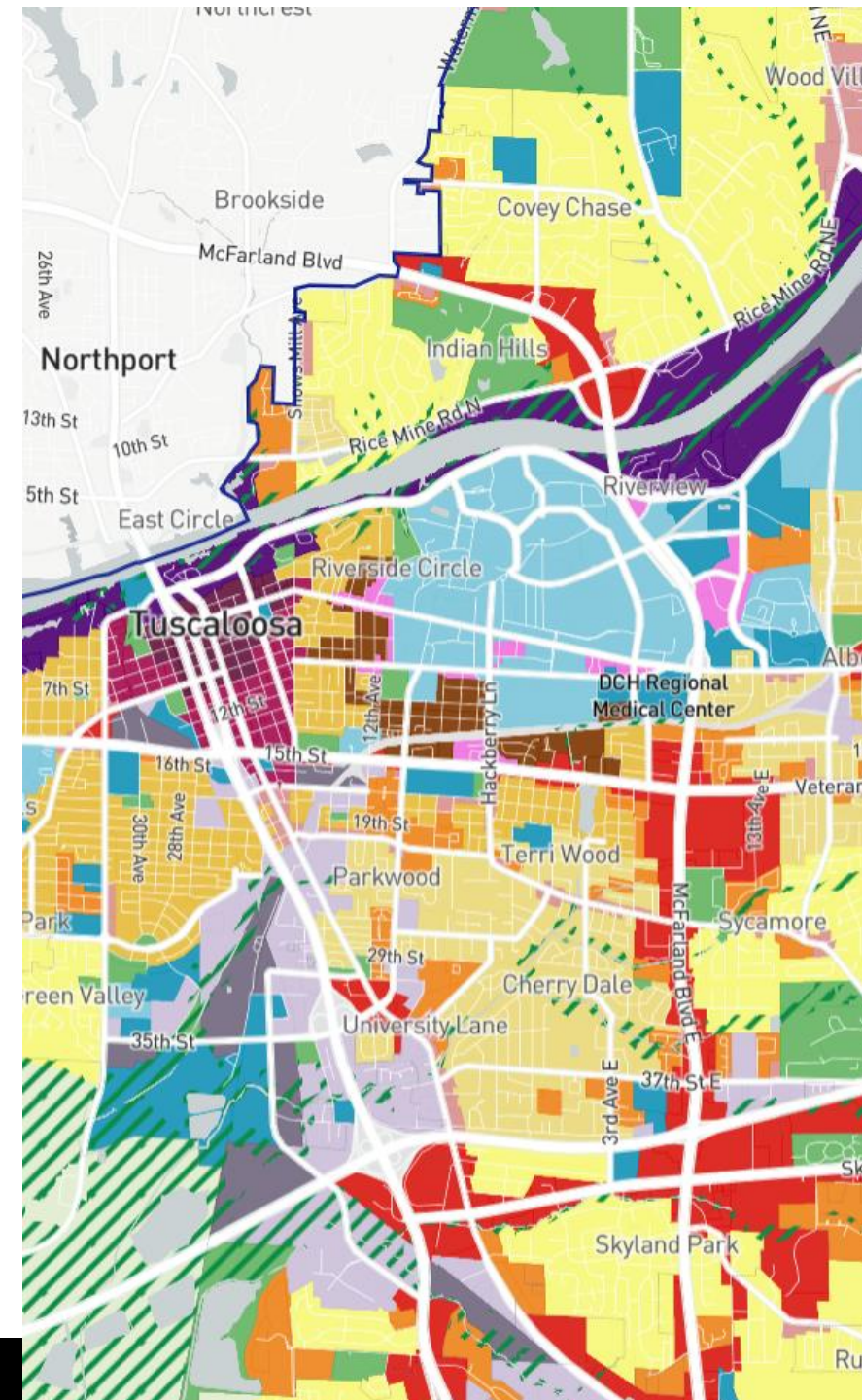
Future Land Use Category

Zoning District

- Traditional Neighborhood, Core  Residence Districts (R1, R2, R3), Moderate Density Residence Districts (R-4), Residential Attached (RA-1/2)
- Suburban Residential  Residence Districts (R1, R2, R3), Moderate Density Residence Districts (R-4)
- Multifamily Residential  Residential Multifamily (RMF-1, RMF-2)
- Industrial  ML, MG, MH

Future Land Use and Character Map

- **NOT A MANDATE** for development or rezoning
- A **POLICY GUIDE**
- **Implemented** through:
 - the zoning regulations
 - various public and private investment decisions
- **Basis** for potential future zoning updates
- **Multiple zoning districts** could be appropriate to implement a Future Land Use Type



Land Use Type Definitions

1. Description of character and intent
2. Photos (preferred examples)
3. List of appropriate uses
4. Physical attributes

DOWNTOWN CORE

The Downtown Core is the historic and civic heart of the city. Development includes both new and adaptively reused historic buildings that support a mix of employment, commercial, entertainment, civic and residential uses in single-use and vertically mixed-use buildings. Buildings frame attractive, pedestrian-scale streets.

Intent

- Promote infill development on vacant lots.
- Support multi-family and attached residential development but discourage large multi-family and student-oriented housing developments.
- Reduce/consolidate surface parking (encourage shared parking).
- Retain historic character through adaptive reuse of existing buildings.
- Improve connections and transitions to surrounding neighborhoods.
- Employ standards for quality architectural design.

Primary Uses

- Vertical mixed-use
- Office
- Commercial/Retail
- Civic/Institutional
- Hotel/Accommodation
- Small-scale multi-family residential

Secondary Uses

- Attached residential (townhomes)
- Parks and open space

Building Blocks

Building blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	2-stories, minimum (generally at least 25 feet).
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Building Form	Variety of types from freestanding buildings to attached buildings. Civic buildings may have
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Example Pattern



Example Character



Downtown and River Districts

D – Downtown

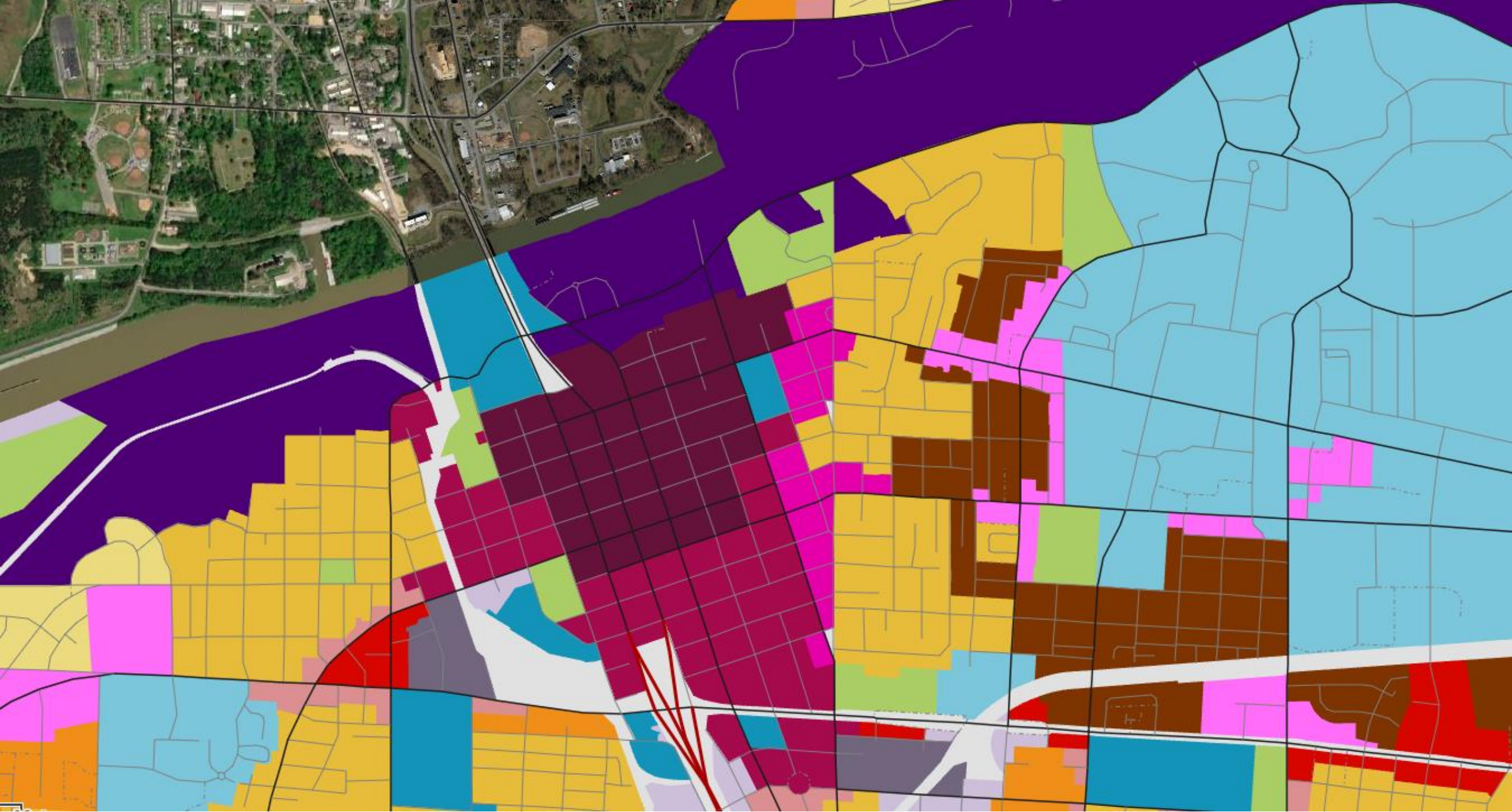
RF – Riverfront

DP – Downtown Perimeter

DH – Downtown Historic Edge

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Notes for Downtown (D) and Riverfront (R)

Both the Downtown and Riverfront Districts include additional standards, such as:

1. Building **design and material standards** (including primary and accent materials).
2. Building massing and scale elements along with **architectural details** (recesses or projections, pedestrian entrances, window bays, variation in roofline, etc.).
3. **Site standards** for sidewalks; building entrances; parking access and location; parking, loading, and mechanical screening; and lighting.
4. **Sign regulations** based on building height and use.
5. Awning, canopy, and balcony regulations.
6. Specific to **Riverfront** – regulations for features in **Flood Hazard Areas**, proximity to riverwalk, and viewsheds for Black Warrior River

Downtown

The purpose of the Downtown (D) District is to provide lands that support a **walkable, visually attractive, and economically vital mix** of employment, entertainment, civic, and residential uses in the City's historic downtown, consistent with the **downtown's historic character** and with public and private investment in the area. District standards are intended to ensure the downtown is **architecturally interesting and pedestrian-friendly**, and supports vibrant street life.

UPDATE

The Downtown district carries forward and renames the BC district in the current Zoning Ordinance **and incorporates and simplifies the form and design standards in the D/R overlay district**. The Downtown district incorporates guidance from the **Downtown Core** character type in the Comprehensive Plan.

DOWNTOWN CORE

Example Pattern



The Downtown Core is the historic and civic heart of the city. Development includes both new and adaptively reused historic buildings that support a mix of employment, commercial, entertainment, civic and residential uses in single-use and vertically mixed-use buildings. Buildings frame attractive, pedestrian-scale streets.

Example Character



Intent

- Promote infill development on vacant lots.
- Support multi-family and attached residential development but discourage large multi-family and student-oriented housing developments.
- Reduce/consolidate surface parking (encourage shared parking).
- Retain historic character through adaptive reuse of existing buildings.
- Improve connections and transitions to surrounding neighborhoods.
- Employ standards for quality architectural design.

DOWNTOWN CORE

Example Pattern



Example Character



Primary Uses

- Vertical mixed-use
- Office
- Commercial/Retail
- Civic/Institutional
- Hotel/Accommodation
- Small-scale multi-family residential

Secondary Uses

- Attached residential (townhomes)
- Parks and open space

Building Blocks

Building blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	2-stories, minimum (generally at least 25 feet).
Building Form	Variety of types from freestanding buildings to attached buildings. Civic buildings may have varying building form and placement from surroundings.
Building Setback	0-10 feet (generally consistent within a block). Greater setbacks for civic or institutional uses are appropriate.
Streets	Gridded street pattern with short, walkable block lengths (around 300 feet). 8 to 12-foot-wide sidewalks; crosswalks; traffic calming measures, and other streetscape amenities.
Transportation	Walking, biking, transit, automobile.
Parking	Shared surface parking located behind buildings; structured parking; on-street parking. Allow space for pick-up/to-go orders.
Open Space	Plazas, pocket parks, formal parks. Public realm (space between buildings and streets) acts as open space.

Downtown

Table 4-38: D District Intensity and Dimensional Standards

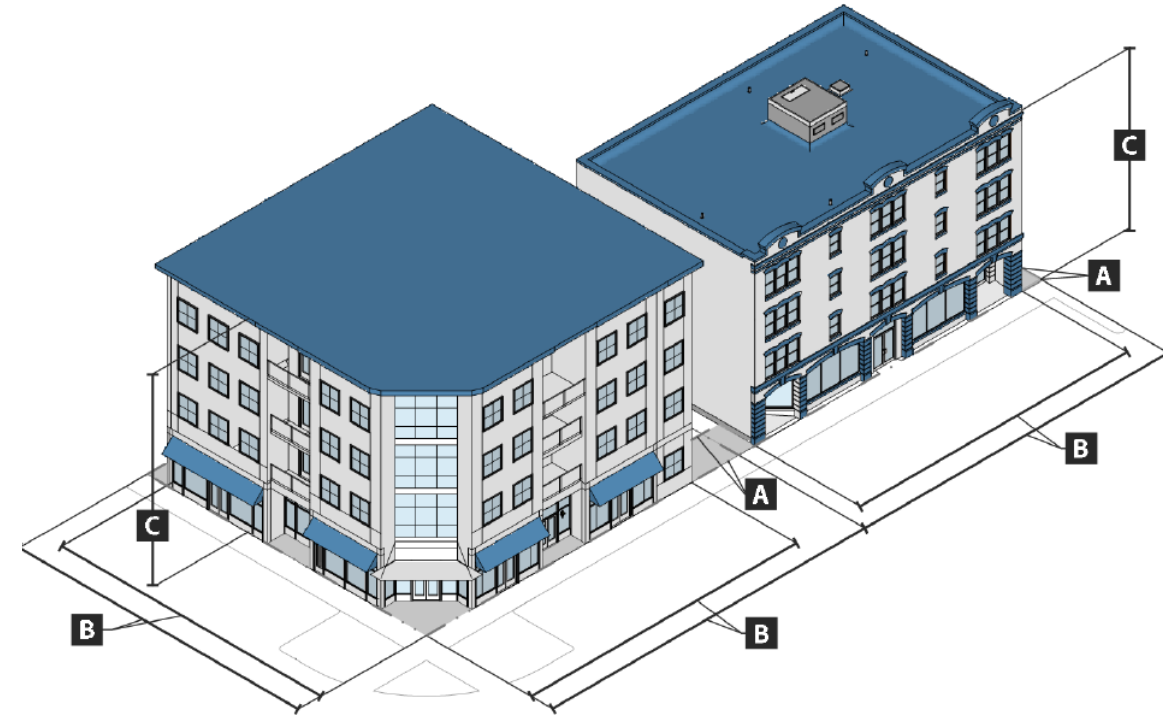
	STANDARD	ALL USES
A	Front setback [2] ³⁴⁶	
	<i>Minimum</i>	0 ft
	<i>Maximum</i>	10 ft
	Side setback (min)	0 ft [3]
	Rear setback (min)	0 ft [3]
B	Building height (min)	2 stories (no maximum)

NOTES

[1] max = maximum; min = minimum; ft = feet

[2] The maximum front setback may be increased by 15 feet along 35 percent of the lot width for an outdoor dining area, plaza, or other area that is open to the public and that includes features such as a garden, fountain, and seating.

[3] A buffer may be required along a side or rear lot line in accordance with Sec. 24-6.3.7, Buffers.



Notes for Downtown

Stakeholder involvement identified the following:

1. Building **heights** – no maximum today. Do we maintain OR cap at a certain story consistent with existing buildings today (12 stories or so)?

2. Building **materials**

- a) Consider requiring no material changes at outside corners*
- b) Native stone should be called “natural stone” and examples given.*
- c) Glass curtain wall as a primary material may not be consistent with intent. Move to accent?*
- d) Similarly, pre-cast masonry may be more consistent with intent. Move to primary?*
- e) Brick and masonry balconies seem impractical, but removing it from the list may not be necessary.*
- f) Parking screening – differentiate between street level and upper levels?*
- g) Transparency minimum is 30% adjacent to street level façade.*

3. Building **massing**

- a) 40' wide rule may lead to “ransom note style” development. More clarity needed.*

Notes for Downtown

4. **Screening** – where used, parapet walls should extend along all visible sides of a building's roof so the unfinished backside isn't visible.
5. **Lighting** – specifically require lighting to be directed downward
6. **Signs**
 - a) *Revisit section during larger sign ordinance discussion. Current draft wouldn't allow Bama Theater or Dinah Washington signs. Should re-examine neon, LED, size, message centers, canopy signs, and awnings.*

Riverfront

The riverfront of the Black Warrior River is a unique natural, scenic, and historic resource of the City. The purpose of the Riverfront (R) District is to, as appropriate, provide lands that support **pedestrian-friendly, high-quality development** that takes advantage of the Black Warrior River's history and scenic beauty, **protect against flooding, and preserves the natural features** of the river and its floodplain. The district should include only nonresidential uses, or residential uses mixed with complimentary nonresidential uses. Streets, buildings, and open space should create **synergy with the natural riverfront environment**, preserving and/or enhancing environmentally sensitive areas while allowing people within and around the district to maintain a visual or actual connection with the riverfront through the Riverwalk.

NEW

The new Riverfront (R) base district **builds on the Riverfront Development District** purpose and standards in the current Zoning Ordinance but modifies the structure of how development in the current Riverfront district is regulated. This is done in an effort to **simplify the development review procedures** for development/redevelopment in the district and **clarify** the development standards – without sacrificing the goals and development outcomes of the old district.

RIVERFRONT DEVELOPMENT

Example Character



Riverfront Development is an area appropriate for a range of high-quality development along the Black Warrior River which preserves and protects the unique natural, scenic and historic resource of the riverfront. Development may include residential, commercial, office, an integrated mix of uses, as well as civic and recreational areas.

Intent

- Encourage conservation of potentially sensitive environmental features along the riverfront.
- Support integrated mixed-use developments (horizontal mixed use) and vertical mixed use buildings where the surrounding area contains, or the center is large enough to create, the critical mass and pedestrian activity needed for mixed use commercial to thrive.
- Encourage high quality architecture and materials for highly visible sites.
- Integrate public open space and recreational areas (such as the Riverwalk) into developments.
- Encourage horizontal or vertical mixing of uses in compact areas where appropriate.
- Integrate public open space features and connectivity to the trail network within development sites.

RIVERFRONT DEVELOPMENT

Example Character



Primary Uses

- Vertical mixed-use
- Office
- Commercial
- Civic/Institutional

Secondary Uses

- Small-scale multi-family residential
- Single family residential
- Parks and open space

Building Blocks

Building blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	2-stories, minimum. Heights should be cognizant of protecting river views.
Building Form	Mix of large footprint buildings and smaller buildings that may be occupied by multiple tenants.
Building Setback	0-30 feet.
Streets	Small, grid-like blocks with a streetscape designed to encourage pedestrian activity.
Transportation	Walking, biking, transit, automobile.
Parking	Shared parking areas located behind buildings. On-street parking. Allow space for pick-up/to-go orders.
Open Space	Formal parks, pocket parks, plazas, "green infrastructure," public realm acts as open space.

Riverfront Procedure

Development or redevelopment is subject to approval in one of two ways

1. Small-Scale Development

- *Small-scale development is proposed development that results in 20,000 square feet or less of nonresidential development, and/or 20 residential units, or development that is located on a lot that is 25,000 square feet or less.*

2. Large-Scale Development

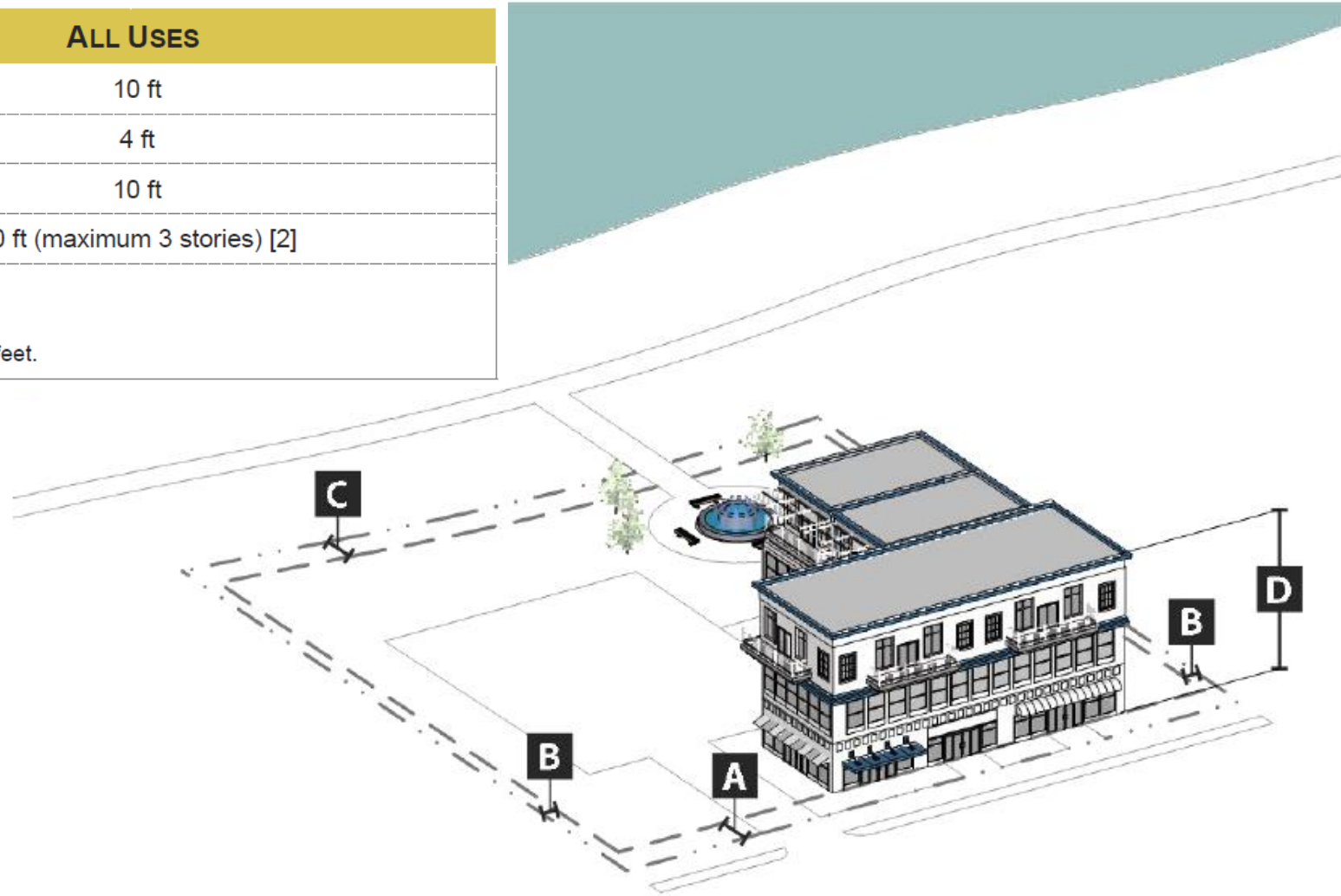
- *Large-scale development shall be classified as a Riverfront Planned Development (RPD) district. For the purpose of the R district, large-scale development is all proposed development in the district that is not small-scale development.*

Riverfront

Table 4-44: R Intensity and Dimensional Standards

STANDARD		ALL USES
A	Front setback (min)	10 ft
B	Side setback (min)	4 ft
C	Rear setback (min)	10 ft
D	Building height (max) ³⁸⁴	40 ft (maximum 3 stories) [2]

NOTES:
[1] max = maximum; min = minimum; ft = feet
[2] The minimum floor to ceiling height for commercial space shall be 12 feet.



Notes for Riverfront

Stakeholder involvement identified the following:

1. **Setback** minimums will need to adjust to account for townhomes if a permitted use
2. **Multifamily dwelling parking** requirement is 1 per bedroom (very student-driven). Consider a “per unit” count.
3. Maintain **500’ spacing** between bar/tavern or gastropub and another similar use?
4. Building **heights** – current standard referenced “the treeline.” Small-scale development will be capped at 40’ or 3 stories (again, stories may be preferred in this zone). Large-scale development will be set at 72’ or 6 stories, allowing the Council to have discretion to increase height.

Notes for Riverfront

5. **Sidewalks** shall be surfaced with pavers or imprinted concrete – could increase costs
6. **Parking location** – current draft may be too restrictive for an oddly shaped lot
7. **Signs**
 - a) *Revisit section during larger sign ordinance discussion. Need to examine prohibition on neon; possibly align with Downtown sign requirements.*
 - b) *Maximum of 80 square feet per sign could be small for a project of distinction*
8. **Lighting** – specify that lighting should be directed downward, reducing spillover and light pollution; additionally, APCO specific installation may not be appropriate language

Notes for Riverfront

9. Building orientation

- a) *Requirement that single-building developments be configured with the long axis of the building parallel to the street it fronts may be too restrictive for all development, but would also provide viewsheds*
- b) *Clarify the intent behind building facades facing the Riverwalk providing views of the Riverwalk*

10. Building materials

- a) *Native stone should be called “natural stone” and examples given.*
- b) *Glass curtain wall was controversial in the past; keep in primary?*
- c) *Vinyl (shakes, shingles, or clapboard at 0.044” thick) is listed as an accent, along with EIFS (for trim only).*

11. Transitions

- a) *Be certain that buffer standards allow for appropriate transitions near neighborhoods.*

Downtown Perimeter

The purpose of the Downtown Perimeter (DP) District is to provide lands that support a variety of **moderate-intensity office and commercial** uses that may be mixed with medium-scale multifamily residential dwellings, single-family detached dwellings on small lots, and a **range of attached residential uses**, such as triplexes and townhouses. The district also allows a variety of civic and institutional uses. It is intended to serve as a **pedestrian-friendly transition** between the higher density and intensity of uses in the Downtown District and the lower-density development in adjacent residential and commercial districts.

NEW

This new district incorporates guidance from the **Downtown Edge** character type in the Comprehensive Plan. This updates the intent statement for the BGO district in the current Zoning Ordinance and reflects that the DP district will be limited to lands surrounding the D district and lower-intensity districts.

DOWNTOWN EDGE

Example Pattern



The Downtown Edge is a transitional space between the Downtown Core and the surrounding residential areas. As part of the larger Downtown area, this designation supports a high-quality mixed-use setting with opportunities for residential, employment, commercial, and institutional development at a smaller scale than the Core.

Example Character



Intent

- Support adaptive reuse of existing buildings where feasible.
- Locate new buildings near the street on at least one side and accommodate parking to the side or rear of buildings; cluster buildings to consolidate and share surface parking.
- Improve connections between Downtown and neighborhoods.
- Improve/provide public realm features such as signs, sidewalks, landscaping, and street trees.
- Support multi-family and attached residential development but discourage large multi-family and student-oriented housing developments.
- Reduce access-points into development for pedestrian and vehicular safety.

DOWNTOWN EDGE

Example Pattern



Example Character



Primary Uses

- Vertical mixed-use with limited, small-scale multi-family residential
- Office
- Commercial
- Civic/Institutional

Secondary Uses

- Single family residential (small lots)
- Small-scale multi-family residential (all types)
- Parks and open space

Building Blocks

Building blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	2-stories minimum (1.5-stories for residential), north of Paul Bryant Drive, 1-4 stories south of Paul Bryant.
--------------	--

Building Form	Free standing or attached to adjacent buildings. Variety of building styles.
---------------	--

Building Setback	0-30 feet (parking areas should be set back further than buildings).
------------------	--

Streets	Small, grid-like blocks with a streetscape designed to encourage pedestrian activity.
---------	---

Transportation	Walking, biking, transit, automobile.
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Parking	Shared parking areas located behind buildings. On-street parking. All space for pick-up/to-go orders.
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Open Space	Formal parks, pocket parks, plazas, "green infrastructure." Public realm (space between buildings and streets) acts as open space.
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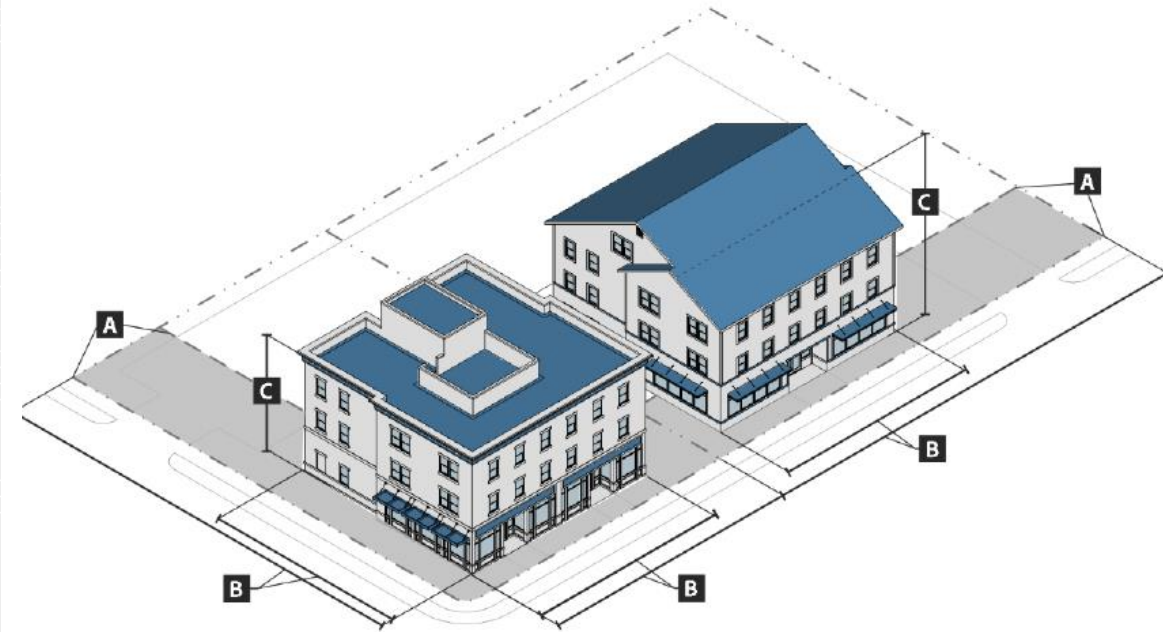
Downtown Perimeter

Table 4-40: DP Intensity and Dimensional Standards³⁷⁰

	STANDARD	ALL USES
A	Front setback [2] ³⁷¹	
	<i>Minimum</i>	0 ft
	<i>Maximum</i>	15 ft
	Side setback (min)	0 ft [3]
	Rear setback (min)	0 ft [3]
C	Building height, north of Paul W. Bryant Dr.	
	<i>Minimum</i> ³⁷²	2 stories [4]
	<i>Maximum</i>	80 ft
	Building height, south of Paul W. Bryant Dr.	
	<i>Maximum</i> ³⁷³	45 ft

NOTES

- [1] max = maximum; min = minimum; ft = feet
- [2] The front building façade must be located within the minimum and maximum front setbacks. The maximum front setback may be increased by 1) 15 feet along 35 percent of the lot width for an outdoor dining area, plaza, or other area that is open to the public and that includes features such as a garden, fountain, and seating, or 2) up to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is greater than 15 feet.
- [3] A minimum setback of eight feet is required from any lot line abutting a Residential district.
- [4] Applies to any lot containing a building.
- [5] The minimum building height for single-family detached and duplex dwellings is 1.5 stories.



Notes for Downtown Perimeter

Stakeholder involvement identified the following:

1. This is a zone where it might be more appropriate to measure **height** in **stories**, not **feet**.
 - a) *The building height break shouldn't happen on the center of Bryant Drive – 80 feet on the north and 45 feet on the south would be disjointed. Consider different breaks and step downs, recalling that DP could go south of 15th Street around Drish House.*
2. Make clear that the **material standards** of Downtown apply.
3. **Parking** is generally to locate to the rear of the buildings, but definitely not between the front façade and the street.
 - a) *Between the Lurleens, 6th Street, and 15th Street, parking is allowed to be between the structure and the street. Is this what is desired or do you encourage less-auto centric development between state controlled routes?*

Downtown Historic Edge

The purpose of the Downtown Historic Edge (DHE) District is to provide lands that **protect the historic districts** and support a **limited mix of moderate-intensity office and commercial** uses along with medium-scale multifamily residential dwellings, single-family detached dwellings on small lots, and a range of attached residential uses, such as triplexes and townhouses. The district also allows a variety of civic and institutional uses. The scale of the development is intended to **complement existing development** in the neighborhood and support a pedestrian-friendly transition between the higher density and intensity of uses in the Downtown District and the lower-density development in adjacent residential and commercial districts

NEW

This is a new district that is similar to the new DP district but allows a slightly reduced mix of uses at somewhat **lesser intensity** than the DP district.

DOWNTOWN HISTORIC EDGE

Example Pattern



Example Character



In keeping with the Historic Preservation Commission's Design Guidelines, the Downtown Historic Edge is a transitional space between the Downtown Core, Downtown Edge, and traditional historic neighborhoods. As part of the larger Downtown areas, this designation supports a high-quality mixed-use setting with opportunities for residential, employment, neighborhood-scale commercial, and institutional development at a historic scale.

Intent

- Continue historic preservation efforts to maintain the existing neighborhood character within local historic districts.
- Adhere to the Historic Preservation Commission's Design Guidelines for any redevelopment.
- Support adaptive reuse of existing buildings.
- Encourage neighborhood-scale commercial centers.
- Improve connections between Downtown and historic neighborhoods.
- Improve and provide public realm features such as signs, sidewalks, landscaping, and street trees.

DOWNTOWN HISTORIC EDGE

Example Pattern



Example Character



Primary Uses

- Single-family residential
- Attached residential (townhomes, duplexes)
- Neighborhood-scale office or commercial

Secondary Uses

- Small-scale multi-family residential
- Civic/Institutional
- Parks and open space

Building Blocks

Building blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	2.5-stories, maximum (generally consistent within a block).
Building Form	Free-standing or attached to adjacent buildings. Variety of building styles in keeping with historic districts.
Building Setback	0-20 feet (generally consistent within a block).
Streets	Blocks are small and walkable. Streets generally form a grid system within the neighborhoods; alleys are common.
Transportation	Walking, biking, transit, automobile.
Parking	On-street and private off-street, generally located behind buildings.
Open Space	Preserved passive open space, neighborhood/community parks, pocket parks, private yards, connections to school yards.

Downtown Historic Edge

Table 4-42: DHE Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Front setback [2] [3]	
	<i>Minimum</i>	0 ft
	<i>Maximum</i>	30 ft
	Side setback (min)	0 ft [4]
	Rear setback (min)	0 ft [4]
C	Building height (max)	40 ft

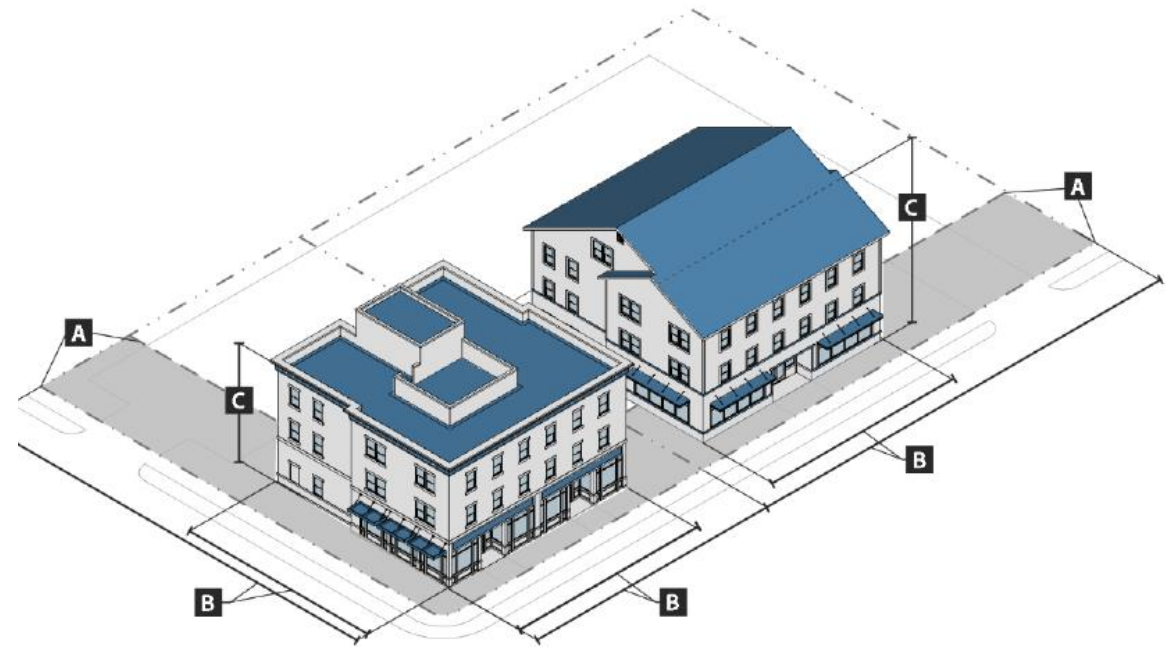
NOTES

[1] max = maximum; min = minimum; ft = feet

[2] The front building façade must be located within the minimum and maximum front setbacks. The maximum front setback may be increased by 1)15 feet along 35 percent of the lot width for an outdoor dining area, plaza, or other area that is open to the public and that includes features such as a garden, fountain, and seating, or 2) up to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is greater than 15 feet.

[3] The Historic Preservation Commission may allow or require larger or smaller front setbacks if it determines that with such modification a development will better conform with nearby properties, or with the development patterns within the DHE district and any applicable historic district.

[4] A minimum setback of eight feet is required from any lot line abutting a Residential district.



Notes for Downtown Historic Edge

Stakeholder involvement identified the following:

1. Graphic is not reflective of the intent of the district.
2. This is a zone where it might be more appropriate to measure **height in stories**, not **feet**.
 - a) *Building blocks of character type outlined 2.5 stories maximum, consistent within a block*
3. Make clear that the **material standards** of Downtown apply at a minimum, but remember that **HPC Design Guidelines will rule for Historic property**.

Public Comment

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Next Steps

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Special Called Meeting Schedule

September 7, 2022

Definitions

Nonconformities

Single-family Districts (SFR-4, SFR-5)

Multifamily Districts (MFR, MR-1, MR-2)

Lighting Standards

General Regulations

Pools

Fences and Walls

November 2, 2022

Planned Development Districts

October 5, 2022

Landscape and Buffer Standards

Off-Street Parking / Loading

December 7, 2022

Subdivision Regulations Part I

Full schedule on Framework.Tuscaloosa.com

Provide comments

Framework.Tuscaloosa.com

1. Review the draft articles posted prior to each meeting
2. Submit comments
3. View the meeting schedule




The screenshot shows the Framework Tuscaloosa website. The header includes the logo "FRAME/WORK" with the tagline "Creating a dynamic guide for Tuscaloosa". Navigation links for "ZONING CODE UPDATE", "COMPREHENSIVE PLAN", "ABOUT", and "NEWS" are visible, along with a search icon. The main content area has a yellow background and features the heading "ZONING CODE UPDATE". Below the heading is a paragraph: "On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance." Three icons are displayed: a calendar, an open book, and two overlapping speech bubbles. Below each icon is a text label: "About the zoning code update", "Documents and work products", and "Provide input and feedback". A URL bar at the bottom left shows "https://framework.tuscaloosa.com/zoning-code/".

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Creating a dynamic guide for Tuscaloosa

ZONING CODE UPDATE COMPREHENSIVE PLAN ABOUT NEWS 🔍

ZONING CODE UPDATE

On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance.

About the zoning code update Documents and work products Provide input and feedback

<https://framework.tuscaloosa.com/zoning-code/>



Adjourn

FRAME/WORK

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