

July 20, 2022

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Creating a dynamic guide for Tuscaloosa

Call to Order

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Welcome

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Staff

Ashley Crites, AICP, Executive Director

Zach Ponds, CNU-A, Acting Director of Planning

Will Smith, Associate Director of Planning

Jimbo Woodson, Deputy City Attorney

Planning Commission Members

Bill Wright, Chair

Tim Harrison, Vice-Chair

Vince Dooley

Estella Hare

Anne Hornsby

Eddie Pugh

Councilwoman Raevan
Howard Williams

Dena Prince

Steven Rumsey



Disclosure of Possible Conflicts

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A group of people are gathered around a table in a meeting room, looking at documents and talking. The scene is dimly lit, with a dark overlay. The people are wearing name tags and are focused on the work at hand. A sign on the table reads 'TABLE 8'.

Meeting Expectations

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Meeting Expectations

- **Steering Committee:**
 - *Will **note role in process** (state that they were a Steering Committee member at the podium/on record) if providing public comment*

Meeting Expectations

Planning and Zoning Commission Members:

- Should **review** draft code articles as provided in advance of the meetings
- Should **refrain from arguing** with public commenters
- Should **listen**, ask questions only if you do not understand and need **clarification**, be **respectful**, and desire an expedited proceeding

Meeting Expectations

All:

- Meetings will **begin at 5pm and end at 7pm**
 - If a topic is not finished, it will roll into the next scheduled meeting.
- A **three-minute timer** will be used and visible to all parties (PZC, staff, public)
 - Only the PZC members can grant a specified time extension
- Staff will **manage the flow** of the meeting for efficiency

The code rewrite will...

- Maintain what works today and update what does not
- Make the code more user-friendly
- Implement the Comprehensive Plan's recommendations
- Redefine or consolidate some existing zoning districts and add new districts.
- Update development standards and permitted uses

Zoning Ordinance Update Process

1. Zoning Text

- a. Purpose, Intensity, Dimensional Standards*
- b. Development Standards*
- c. Use Standards*

2. Zoning Map

Zoning Code Articles

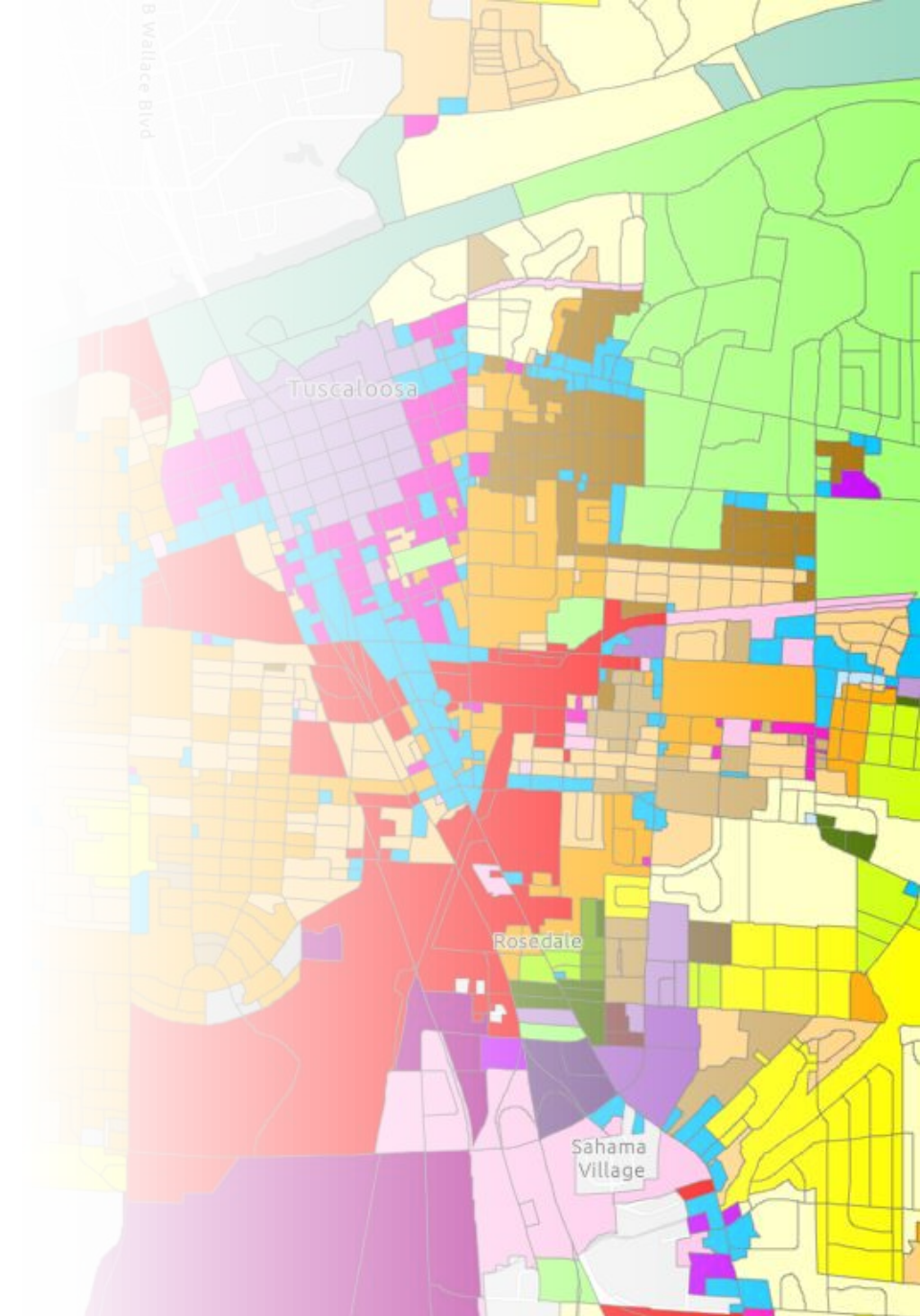
1. General Provisions
2. Definitions and Rules for Measurement
3. Administration
4. **Zoning Districts**
5. Use Regulations
6. Development Standards
7. Enforcement
8. Nonconformities

Article 4: Zoning Districts

Purpose: This article establishes the more than 30 zoning districts that will regulate land use and development

Each district includes:

- Purpose
- Dimensional and Intensity standards
- References to other relevant standards



Lake Districts

LR – Lake Residential

LMF – Lake Multifamily

LC – Lake Commercial

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Notes for All Zones

Stakeholder involvement identified the following additions to all three of these zones:

1. **Building material standards** for all zones.
2. Clarify whether zones should apply to land actually **touching** the lake or **within Lakeside Living Character Type**.
3. Clarifying that lot width is to be measured from the **front minimum building line**
4. Clarifying that height is to be measured in **stories** (not feet) for these zones due to topography.
5. Vegetative buffers will need to be **examined and adjusted** for topography challenges around the Lake.

Vegetative Buffer

Additional Standards

1. A minimum **vegetative buffer** shall be maintained from the Acquisition Line on all property adjoining the lake or reservoir. **Permanent structures are prohibited** within this vegetated buffer, **except water-dependent structures**, such as **boathouses, piers, and gazebos**, are allowed, subject to the standards in Chapter 18 of the City Code that apply to structures built on the lake or upon city property surrounding the lake. **Paths for pedestrians (which may include stairs), golf cart paths, and driveways providing access to boat launching facilities** are allowed in the buffer.



Vegetative Buffer

Additional Standards

1. Buffer standards will need to be **adjusted** to account for:
 - A. *Topography*
 - B. *Irregularly shaped lots*
2. Buffers will create **view limitations** on severely sloped shorelines and could lead to owners attempting to clear cut. Failing to maintain the buffer would be a Zoning violation, but once the buffer is gone, it will take **years** to grow back. Will need to reduce the cliff effect using slopes and horizontal points of measurement.



Lake Residential

The purpose of the Lake Residential (LR) District is to provide lands for residential development consisting of **detached single-family** dwellings abutting Tuscaloosa's lakes and reservoirs that is **consistent with the character** of surrounding development and that **protects water quality**.

Optional cluster development standards allow for a **moderate increase in density** and substantial decreases in minimum lot width and setbacks if **additional open space and setbacks** from the lake or reservoir are provided, in order to further protect water quality and enhance development quality.

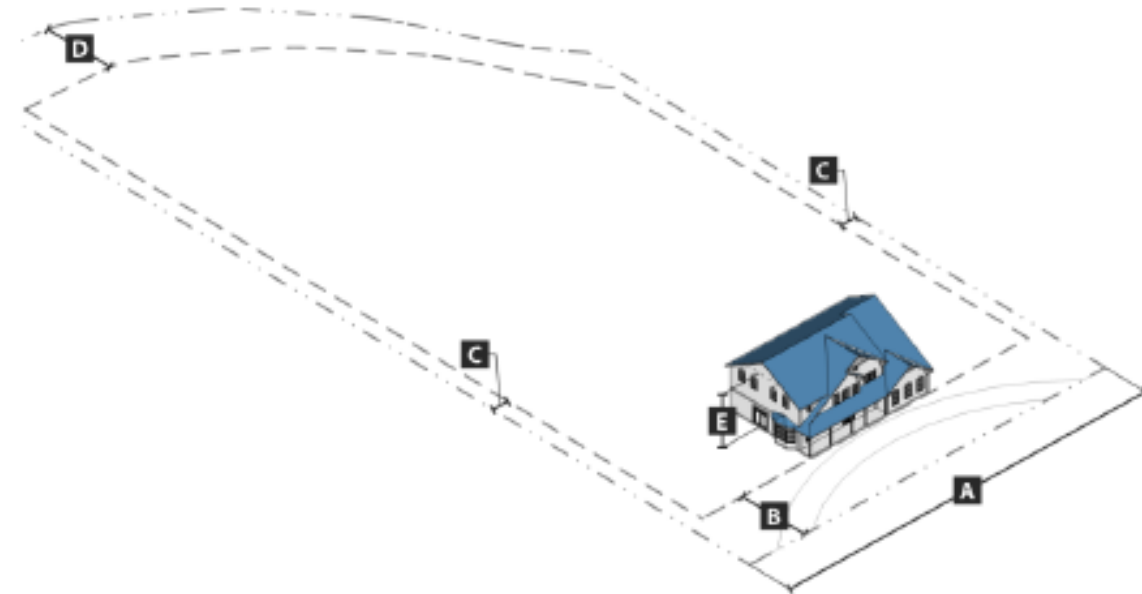
NEW

Lakefront Residential District accommodates lands for single-family residential development around Lake Tuscaloosa that minimizes surface area and protects the water quality of the lake. An alternative development option relaxes minimum lot width and setback standards while requiring additional setbacks from the lake.

Lake Residential

Table 4-7: LR Intensity and Dimensional Standards

	STANDARD	ALL USES
	Lot area (min)	20,000 sf [2]
A	Lot width (min)	85 ft
B	Front setback (min)	35 ft [3]
C	Side setback (min)	10 ft
D	Rear setback (min)	35 ft
	Lake setback (min)	See vegetative buffer standard in subsection d below
E	Building height (max)	35 ft
	Ground Coverage Ratio (max)	25 percent
<p>NOTES</p> <p>[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet</p> <p>[2] If the lot includes a septic system, the minimum lot area shall be the minimum required by the health department.</p> <p>[3] The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 35 feet.</p>		



Note: 2.2 du/acre. From the notes for all zones, Lake Residential would be 3.5 stories.

Lake Residential – Alternative Development

The purpose of this section is to **allow for residential development** consisting of smaller lots that are arranged to **provide enhanced open space and protect the environmental**, recreational, and aesthetic value of Lake Tuscaloosa.

Undeveloped land classified in the LR district may be subdivided and developed if the proposed development complies with the following standards:

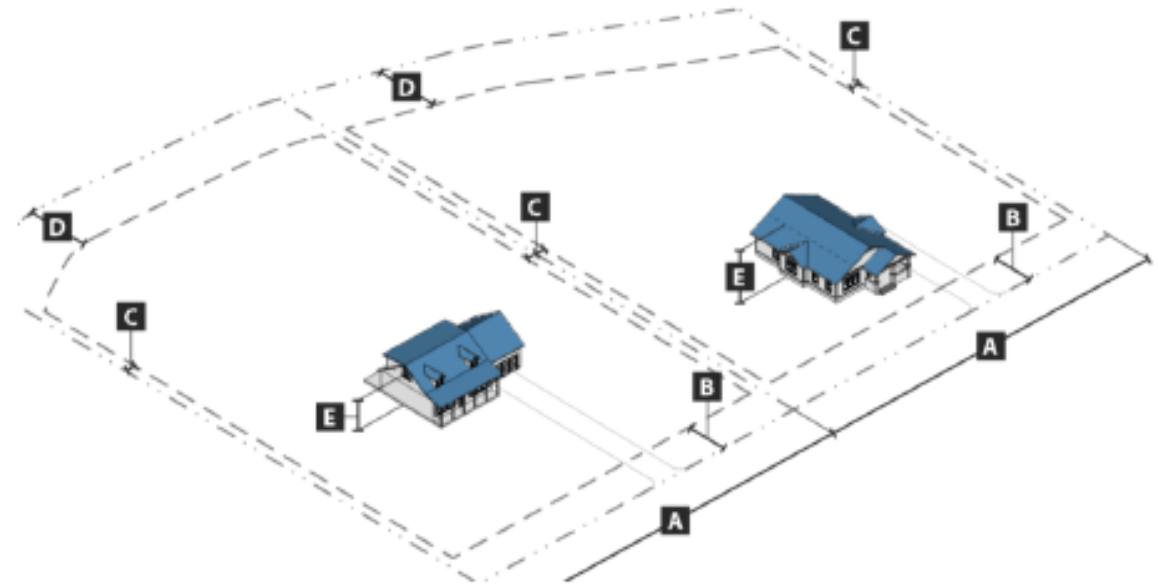
- a) A minimum of **30 percent of land** in the development shall be reserved as permanent open space set-asides; and*
- b) A minimum **150-foot vegetative buffer** shall be maintained from the Acquisition Line on all property adjoining the lake or reservoir.*



Lake Residential – Alternative Development

Table 4-8: LR Alternative Development Option Intensity and Dimensional Standards³⁰³

STANDARD		ALL USES
	Density (max)	2.5 du/acre
	Lot area (min)	None [2]
A	Lot width (min)	Lot with front vehicular access: 50 ft
		Lot with rear vehicular access only: 40 ft
B	Front setback (min)	Lot with front vehicular access: 20 ft
		Lot with rear vehicular access: 10 ft
C	Side setback (min)	5 ft
D	Rear setback (min)	30 ft
	Lake setback	See vegetative buffer standard in subsection d below
E	Building height (max)	35 ft
	Ground Coverage Ratio (max) [3]	20 percent
	Percentage Common Open Space (min) [3]	30 percent
<p>NOTES</p> <p>[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet</p> <p>[2] If the lot includes a septic system, the minimum lot area shall be the minimum required by the health department.</p> <p>[3] Density, Ground Coverage Ratio, and percentage of common open space shall be calculated based on the total area of the project site and the total number of dwelling units, total area of building footprints, or total area of land occupied by common open space, respectively, within the project site.</p>		



Note: Density max could be increased to 3 or 4 to allow a more moderate increase in density. From the notes for all zones, Lake Residential’s alternative height would be 3.5 stories.

Lake Multifamily

The purpose of the Lake Multifamily (LMF) District is to provide lands near Lake Tuscaloosa for **multifamily residential** development that is appropriately set back from the lake, in order to **protect water quality**, and that is **compatible with the character** of surrounding areas. District standards support a low-to-medium-density residential environment that may include compatible public, civic, and institutional uses.

NEW

Lake Multifamily District accommodates lands for multifamily residential development near Lake Tuscaloosa that minimizes surface area, provides a vegetative buffer and materials standards, and protects the water quality of the lake.

Lake Multifamily

Table 4-10: LMF Intensity and Dimensional Standards

	STANDARD	ALL USES
	Density (max)	6 du/acre
	Lot area (min)	3 acres
A	Lot width (min)	500 ft
B	Front setback (min)	35 ft
C	Side setback (min)	20 ft
D	Rear setback (min)	40 ft
	Lake setback	See vegetative buffer standard in subsection d below
E	Building height (max)	50 ft
	Ground Coverage Ratio (max)	35 percent
NOTES		
[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet		



Note: 6 du/acre is below current allowable density maximum of 15 du/ac in R-4. From the notes for all zones, Lake Residential would be 5 stories.

Lake Multifamily

d. Additional Standards

1. A minimum **75-foot vegetative buffer** shall be maintained from the Acquisition Line on all property adjoining the lake or reservoir. **Permanent structures are prohibited** within this vegetated buffer, **except water-dependent structures**, such as boathouses, piers, and gazebos, are allowed, subject to the standards in Chapter 18 of the City Code that apply to structures built on the lake or upon city property surrounding the lake. **Paths for pedestrians (which may include stairs), golf cart paths, and driveways providing access to boat launching facilities** are allowed in the buffer.
2. **Building façades facing the lake** shall include windows, functional entrances, and balconies, verandas, porches, or other similar architectural features.

Lake Commercial

The purpose of the Lake Commercial (LC) District is to provide lands near Lake Tuscaloosa for **limited commercial development** that supports the recreational use of the lake and/or residential uses in the immediate surrounding area. Uses are limited to **small-scale restaurant, retail, and office uses, as well as marinas** and ancillary development.

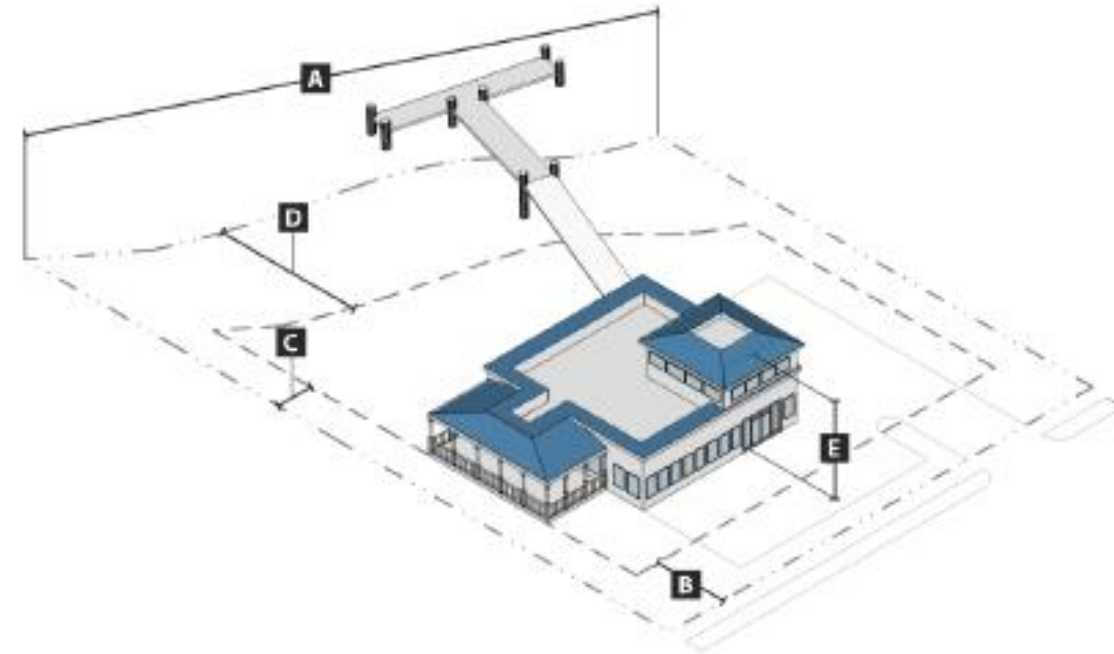
NEW

This is a new district intended for lake-supporting commercial development and marinas. Development standards are designed to implement the **Lakeside Living** character type from the Comprehensive Plan.

Lake Commercial

Table 4-46: LC Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Lake frontage width (min)	75 ft [2]
B	Front setback (min)	20 ft
C	Side setback (min)	10 ft
D	Rear setback (min)	10 ft
	Lake setback (min)	See subsection d, Additional Standards, below
E	Building height (max)	35 ft
	Gross floor area of non-marina uses (max) [3]	5,000 sf
<p>NOTES</p> <p>[1] max = maximum; min = minimum; ft = feet; sf = square feet</p> <p>[2] Lake frontage width minimum applies only to lots abutting the Acquisition Line.</p> <p>[3] Applies to all uses other than marinas, and to all restaurant and retail sales areas within a marina.</p>		



Note: From the notes for all zones, Lake Residential would be 3.5 stories.

Lake Commercial

d. Additional Standards

1. A minimum 50-foot vegetative buffer shall be maintained from the Acquisition Line on all property adjoining the lake or reservoir. Permanent structures are prohibited within this vegetated buffer, except water-dependent structures, such as boathouses, piers, and gazebos, are allowed, subject to the standards in Chapter 18 of the City Code that apply to structures built on the lake or upon city property surrounding the lake. Paths for pedestrians (which may include stairs), golf cart paths, and driveways providing access to boat launching facilities are allowed in the buffer.
2. Preexisting vegetation within the buffer shall be maintained to the maximum extent practicable and shall not be removed except as authorized by a land development permit issued in accordance with Chapter 21, Article XII of the City Code. Existing vegetation shall be supplemented with additional vegetation to meet the standards of this section.

Lake Commercial

d. Additional Standards

3. Vegetation on the lake side of the Acquisition Line shall not be disturbed except where expressly permitted by this Ordinance and the City Code.
4. All off-street parking areas, waste and recycling storage areas, and ground-based HVAC equipment shall be screened from view from the lake and public street using a fence or wall and a combination of shrubs and trees planted along the lake-facing and public street-facing side of the fence or wall
5. Any off-street parking spaces provided in excess of the number of parking spaces required by the Off Street Parking Standards shall be surfaced only with pervious surfacing. The permeability of all such surfacing shall be maintained through regular upkeep (e.g. sweeping, annual vacuuming, repair of surface damage) to ensure proper functioning.

Subdivision Regulation Starter

Public access requirement in new subdivisions

Satellite septic lots?

Minimum lake frontage requirements

The first discussion on the Subdivision Regulations will be December 7, 2022. Note that the Planning and Zoning Commission acts as the final authority on the Subdivision Regulations and their amendments/adoption. Because the subdivision regulations will have implications on zoning, these will coincide as much as possible.



Public Comment

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Next Steps

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Special Called Meeting Schedule

August 17, 2022

Downtown Districts (D, DP, DHE)

Riverfront District (R)

September 7, 2022

Definitions

Nonconformities

Single-family Districts (SFR-4, SFR-5)

Multifamily Districts (MFR, MR-1, MR-2)

October 5, 2022

Landscape and Buffer Standards

Off-Street Parking / Loading

Lighting Standards

General Regulations

Pools

Fences and Walls

November 2, 2022

Planned Development Districts

Full schedule on Framework.Tuscaloosa.com

Provide comments

Framework.Tuscaloosa.com

1. Review the draft articles posted prior to each meeting
2. Submit comments
3. View the meeting schedule




The screenshot shows the Framework Tuscaloosa website. The header includes the logo "FRAME/WORK" with the tagline "Creating a dynamic guide for Tuscaloosa". Navigation links include "ZONING CODE UPDATE" (highlighted), "COMPREHENSIVE PLAN", "ABOUT", "NEWS", and a search icon. The main content area has a yellow background and features the heading "ZONING CODE UPDATE". Below the heading is a paragraph: "On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance." Three icons are displayed: a calendar, an open book, and two overlapping speech bubbles. Below each icon is a text label: "About the zoning code update", "Documents and work products", and "Provide input and feedback". A URL bar at the bottom left shows "https://framework.tuscaloosa.com/zoning-code/".

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ZONING CODE UPDATE | COMPREHENSIVE PLAN | ABOUT | NEWS | 🔍

ZONING CODE UPDATE

On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance.

About the zoning code update | Documents and work products | Provide input and feedback

<https://framework.tuscaloosa.com/zoning-code/>



Adjourn

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