

May 4, 2022

# FRAME/WORK

Creating a dynamic guide for Tuscaloosa

# Call to Order

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# Welcome

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# Staff

Ashley Crites, AICP, Acting Executive Director, UD

Zach Ponds, Associate Director of Planning

Will Smith, Associate Director of Planning

Jimbo Woodson, Deputy City Attorney

# Planning Commission Members

Bill Wright, Chair

Tim Harrison, Vice-Chair

Vince Dooley

Estella Hare

Anne Hornsby

Eddie Pugh

Councilwoman Raevan  
Howard Williams

Dena Prince

Steven Rumsey



# Disclosure of Possible Conflicts

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A group of people are gathered around a table in a meeting room, looking at documents and talking. The scene is dimly lit, with a dark overlay. The people are wearing name tags and are focused on the work at hand. A sign on the table reads "TABLE 8".

# Meeting Expectations

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# Meeting Expectations

- **Steering Committee:**
  - *Will **note role in process** (state that they were a Steering Committee member at the podium/on record) if providing public comment*



# Meeting Expectations

## Planning and Zoning Commission Members:

- Should **review** draft code articles as provided in advance of the meetings
- Should **refrain from arguing** with public commenters
- Should **listen**, ask questions only if you do not understand and need **clarification**, be **respectful**, and desire an expedited proceeding

# Meeting Expectations

## All:

- Meetings will **begin at 5pm and end at 7pm**
  - If a topic is not finished, it will roll into the next scheduled meeting.
- A **three-minute timer** will be used and visible to all parties (PZC, staff, public)
  - Only the PZC members can grant a specified time extension
- Staff will **manage the flow** of the meeting for efficiency

# The code rewrite will...

- Maintain what works today and update what does not
- Make the code more user-friendly
- Implement the Comprehensive Plan's recommendations
- Redefine or consolidate some existing zoning districts and add new districts.
- Update development standards and permitted uses

# Zoning Ordinance Update Process

## 1. Zoning Text

- a. Purpose, Intensity, Dimensional Standards*
- b. Development Standards*
- c. Use Standards*

## 2. Zoning Map

# Zoning Code Articles

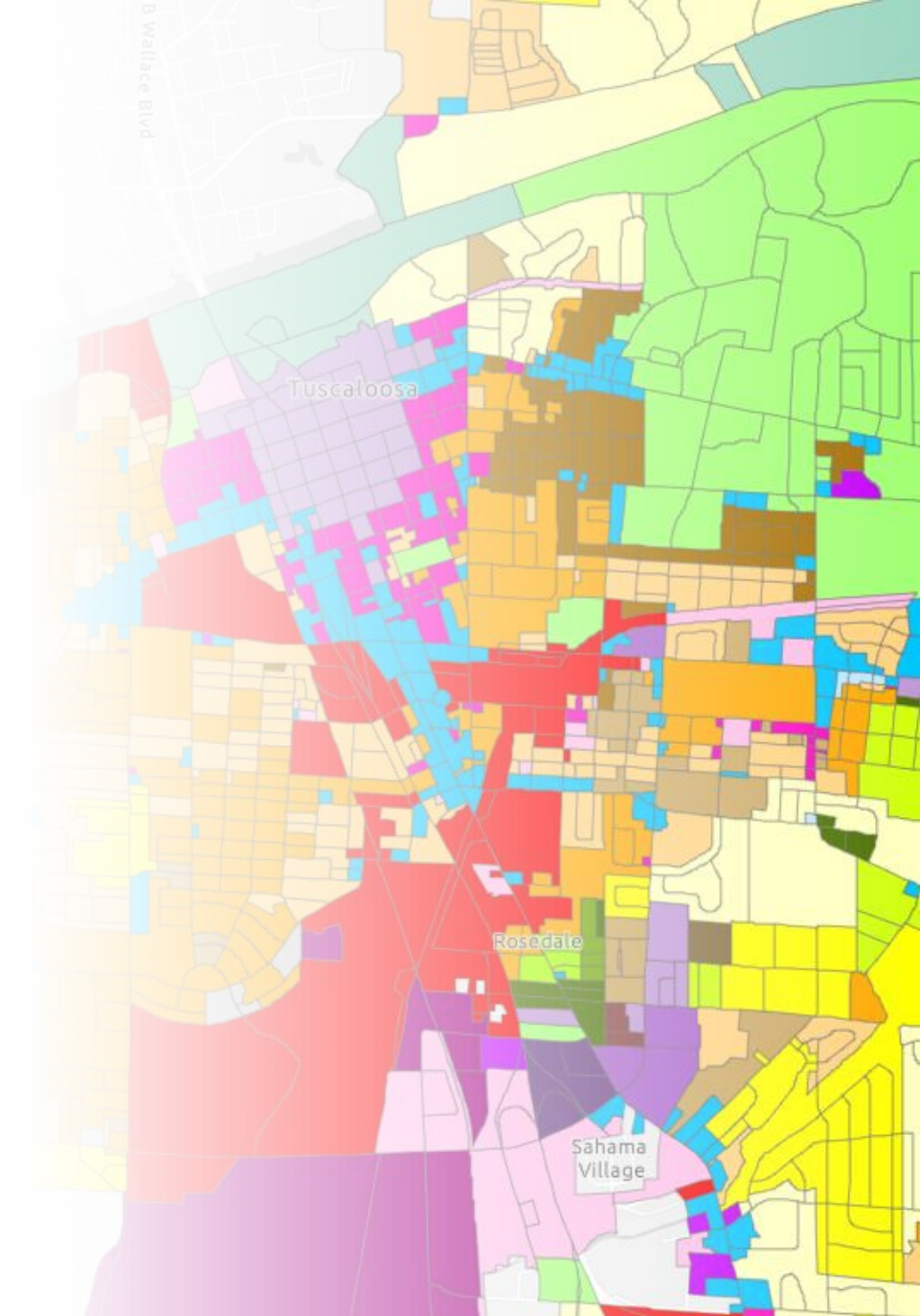
1. General Provisions
2. Definitions and Rules for Measurement
3. Administration
4. **Zoning Districts**
5. Use Regulations
6. Development Standards
7. Enforcement
8. Nonconformities

# Article 4: Zoning Districts

**Purpose:** This article establishes the more than 30 zoning districts that will regulate land use and development

Each district includes:

- Purpose
- Dimensional and Intensity standards
- References to other relevant standards



# Open Space District

OS – Open Space District

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# Open Space District

The Open Space (OS) District is intended to provide lands in the City for open space, large public parks and trails, farmland, viewsheds, wildlife habitat, and related uses. The district is characterized by areas designed for active or passive recreation, public parks and trails, and natural areas.

## NEW District

Currently, the R-1 district is applied to public and private parks. R-1 is inconsistent with the intent for these types of land.

This **new** zoning district can generally be used to protect these types of lands that are owned by public entities. **Private landowners** in undeveloped and/or rural areas may also request to apply this zoning district.



# Open Space District

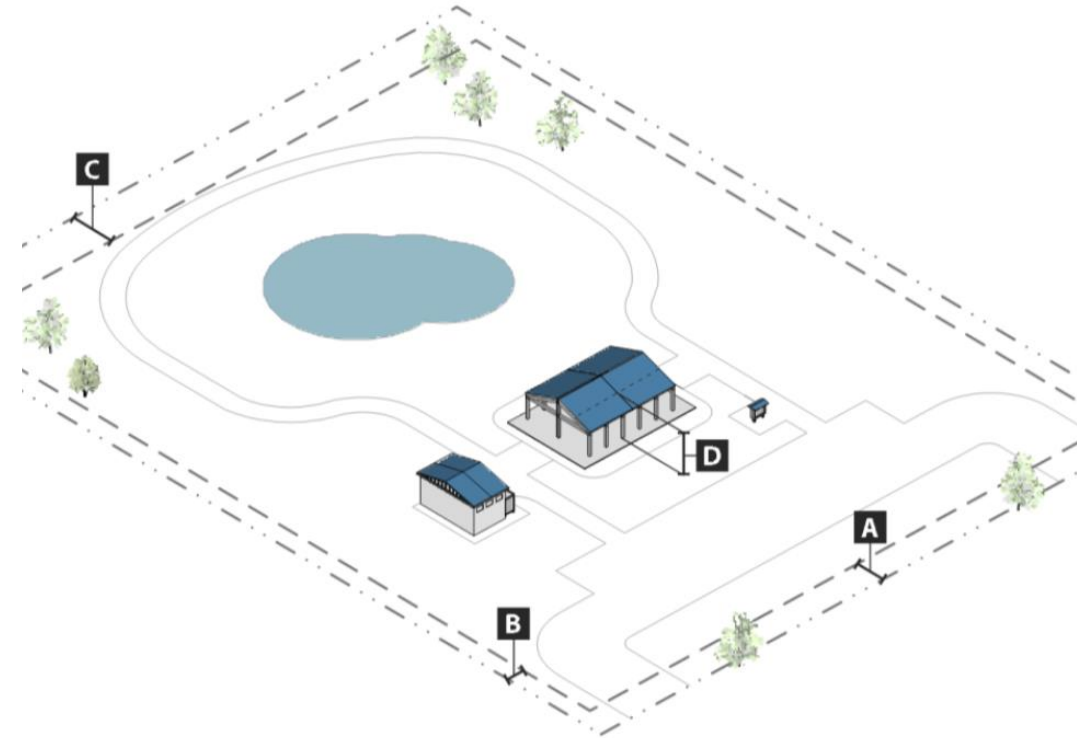
**Table 4-1: OS Intensity and Dimensional Standards**

	STANDARD [2]	ALL USES
	Lot area (min)	1 acre
<b>A</b>	Front setback (min)	15 ft
<b>B</b>	Side setback (min)	10 ft
<b>C</b>	Rear setback (min)	20 ft
<b>D</b>	Building height (max)	60 ft
	Ground Coverage Ratio (max)	15 percent

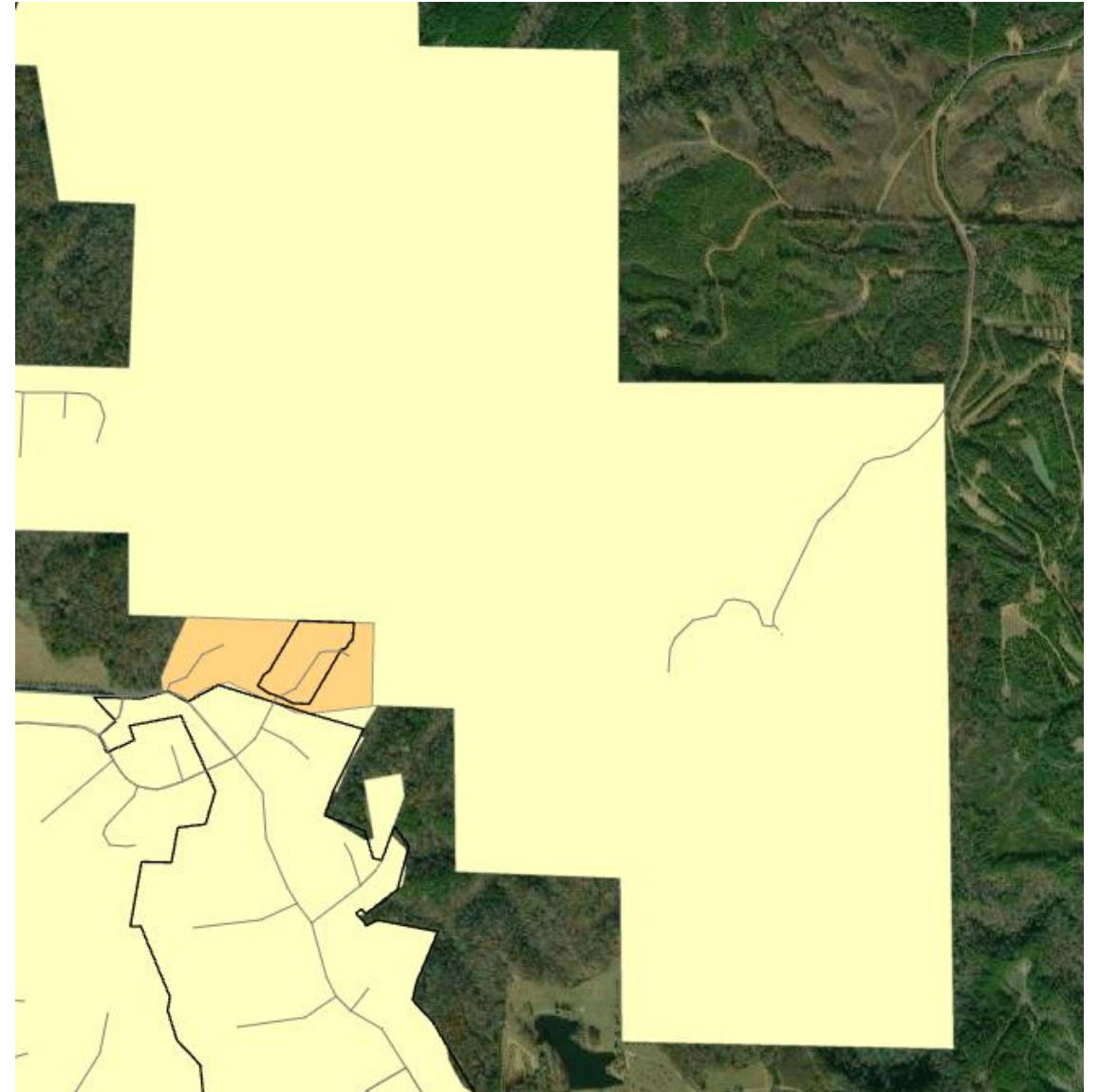
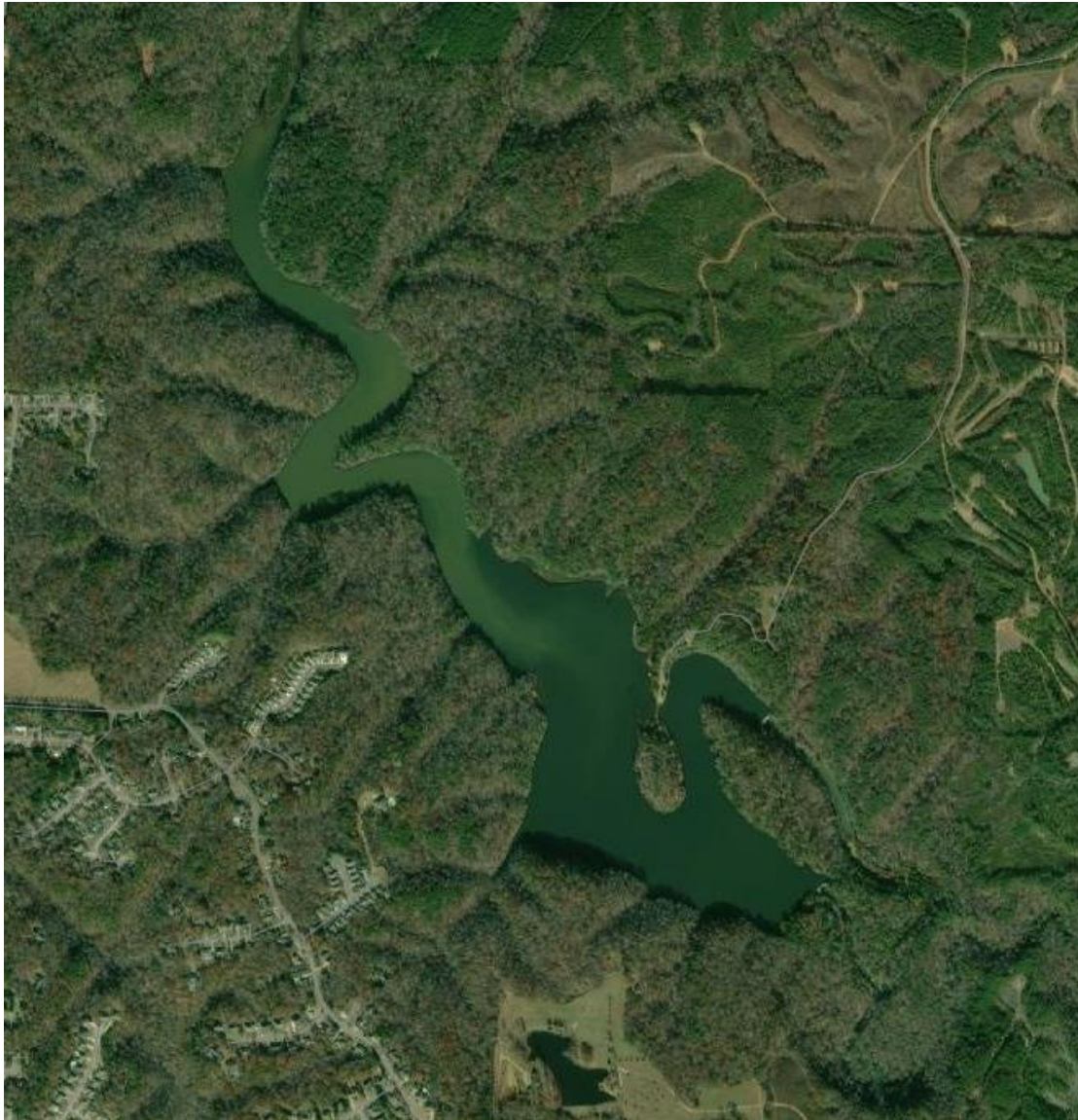
NOTES

[1] max = maximum; min = minimum; ft = feet

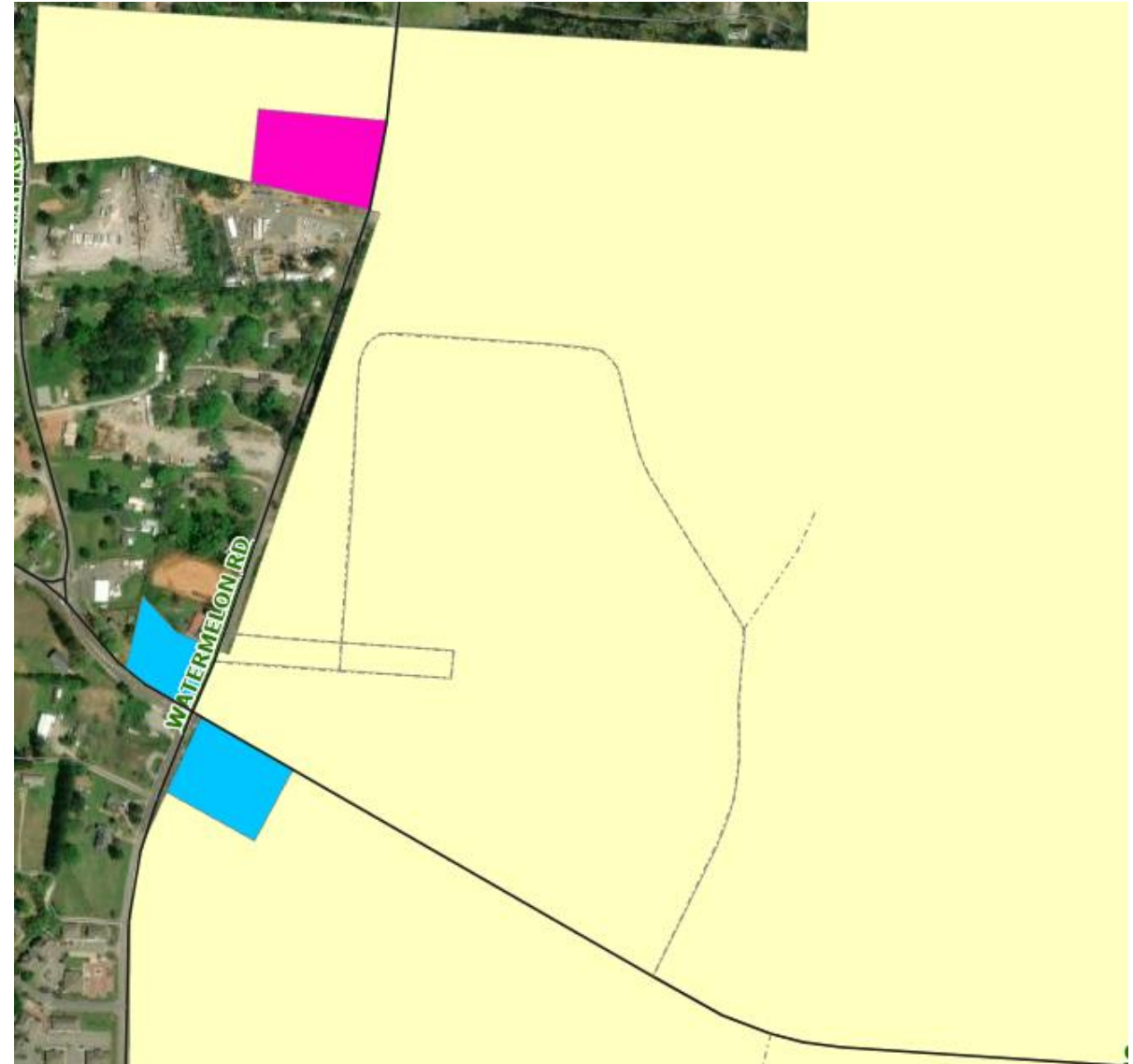
[2] Publicly-owned parks are not subject to these dimensional standards.



# Open Space District: Example, Harris Lake



# Open Space District: Example, Munny Sokol



# Business Districts

NC – Neighborhood Commercial

GC – General Commercial

HC – Highway Commercial

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# Neighborhood Commercial

The purpose of the Neighborhood Commercial (NC) District is to provide lands for a **limited range of small-scale commercial uses** within or at the edge of residential neighborhoods and along roadways. The district may apply to portions of a block, consisting of a few storefronts with limited on-site parking, and is **intended for neighborhood-serving uses** that are primarily pedestrian-oriented. The district regulations are intended to ensure that uses, development intensities, and development forms are consistent with this **pedestrian-friendly and neighborhood scale**. Second-floor residential development over ground floor commercial uses is also permitted at a scale and form that is consistent with district character.

## NEW

Development standards are new and are designed to implement the Limited Commercial character type from the Framework plan. The purpose statement **builds on the BNS intent statement** in Sec. 24-51 of the Current Zoning Ordinance.

# Neighborhood Commercial

Table 4-52: NC Intensity and Dimensional Standards

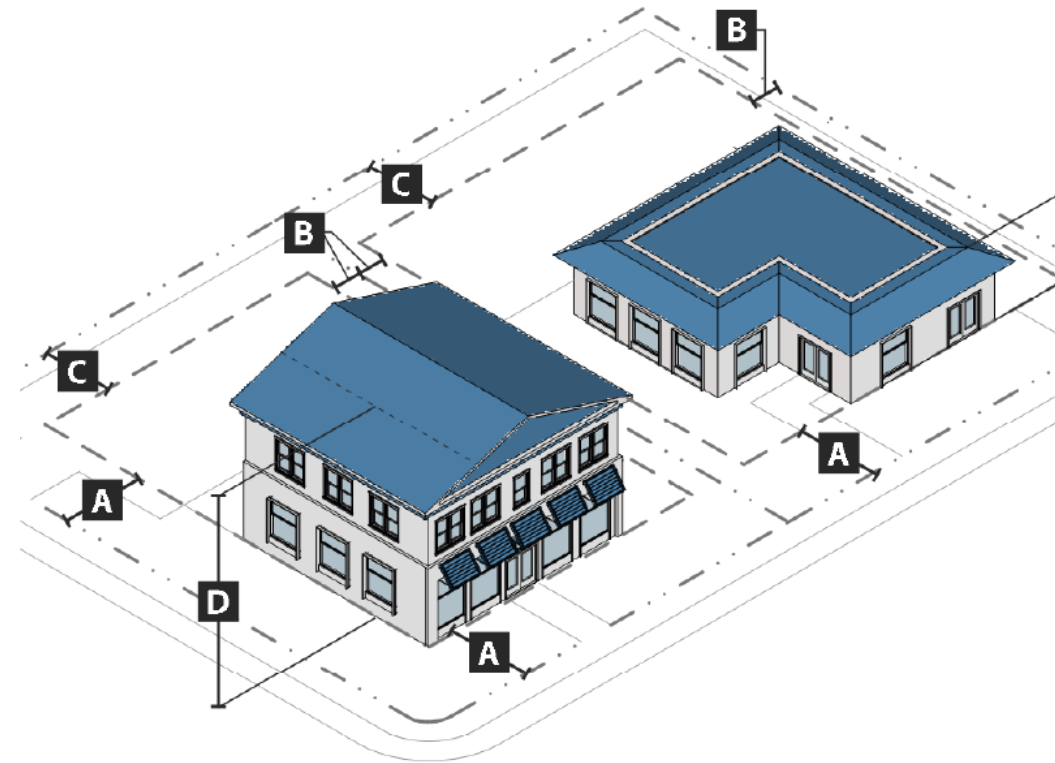
	STANDARD	COMMERCIAL USE OR MULTIFAMILY DWELLING	ALL OTHER USES
A	Front setback (min)	[2] <sup>382</sup>	[2]
B	Side setback (min)	5 ft [3]	5 ft [3]
C	Rear setback (min)	15 ft [3]	15 ft [3]
D	Building height (max)	35 ft (maximum 2 stories)	35 ft (maximum 2 stories)
	Building footprint (max)	7,000 sf	No maximum

NOTES

[1] max = maximum; min = minimum; ft = feet; sf = square feet

[2] The maximum setback shall be 20 feet along a street classified as a collector street or greater in the Major Street Plan of Tuscaloosa. The minimum setback shall be 20 feet along all other streets.

[3] A wider perimeter buffer may be required along a side or rear lot line in accordance with Sec. 24-6.3.8, Perimeter Buffers.



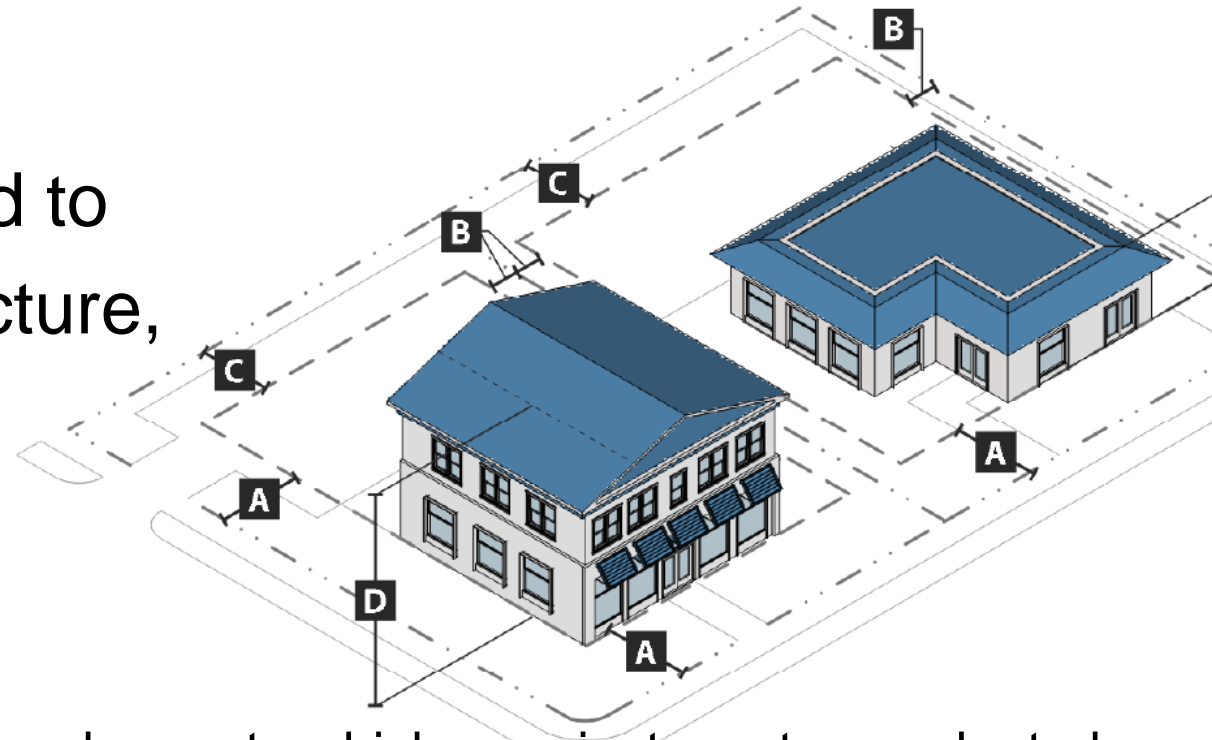
**All Other Uses** = All other uses allowed in NC District. These will likely be institutional in nature: cultural facilities, governmental facilities, public safety facilities, religious institutions, parks.

Note: There is not a one-for-one relationship between all current and proposed districts.

# Neighborhood Commercial

## d. Parking Location

All off-street parking shall be located to the side or rear of the principal structure, to the *maximum extent practicable*.



**Maximum Extent Practicable:** Draft definition is, “The degree to which a project meets an adopted standard in which all possible efforts to comply with the standard or to minimize harmful or adverse effects have been undertaken by the applicant, but full compliance cannot be achieved, and no feasible or practical alternative exists. Economic considerations may be taken into account, but shall not be the overriding factor determining whether the standard can be met in full”

# General Commercial

The purpose of the General Commercial (GC) District is to provide lands for the development of a **wide range of nonresidential** uses including office, commercial, employment and retail businesses, that **may be developed in conjunction with residential** uses, either in the same building or on the same development site.

## NEW

This is a new district intended for general commercial uses, primarily stand-alone but also in certain circumstances included also residential uses, that is typically accessed by automobile. Development standards are designed to implement the **Corridor Commercial** character type from the Framework plan.

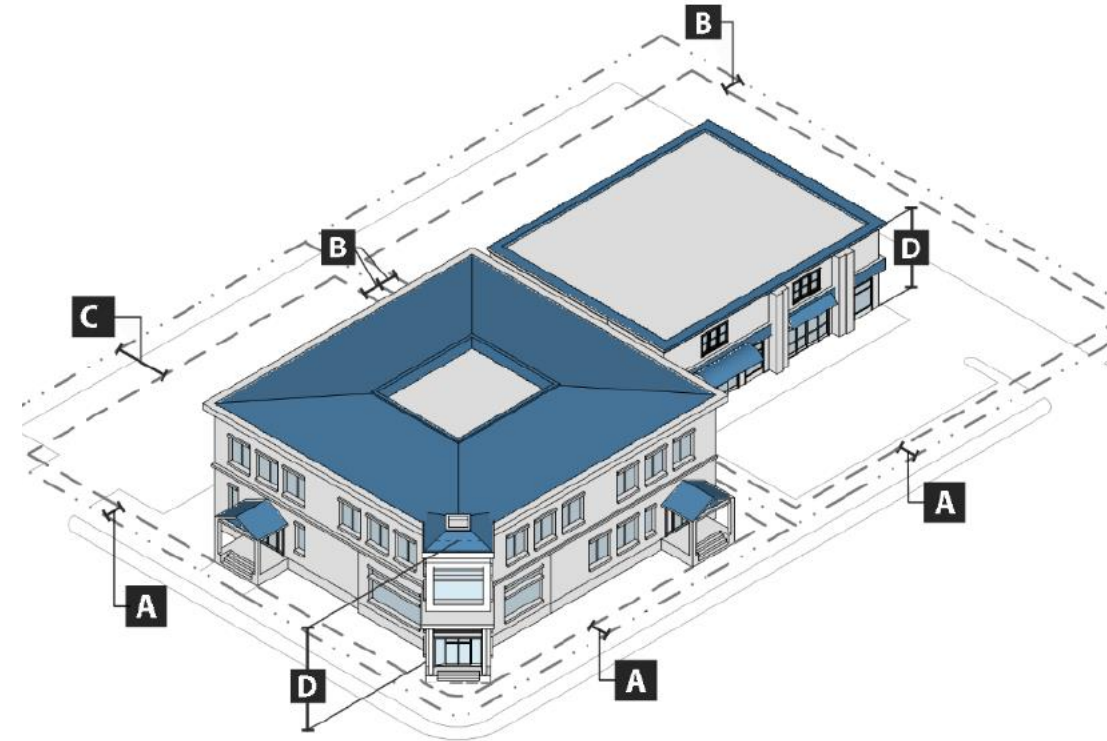


# General Commercial

Table 4-48: GC Intensity and Dimensional Standards

STANDARD		ALL USES
<b>A</b>	Front setback (min)	The average alignment of existing buildings within 200 ft on either side of subject building and within the same block
<b>B</b>	Side setback (min)	5 ft
<b>C</b>	Rear setback (min)	15 ft
<b>D</b>	Building height (max)	60 ft

NOTES  
[1] max = maximum; min = minimum; ft = feet

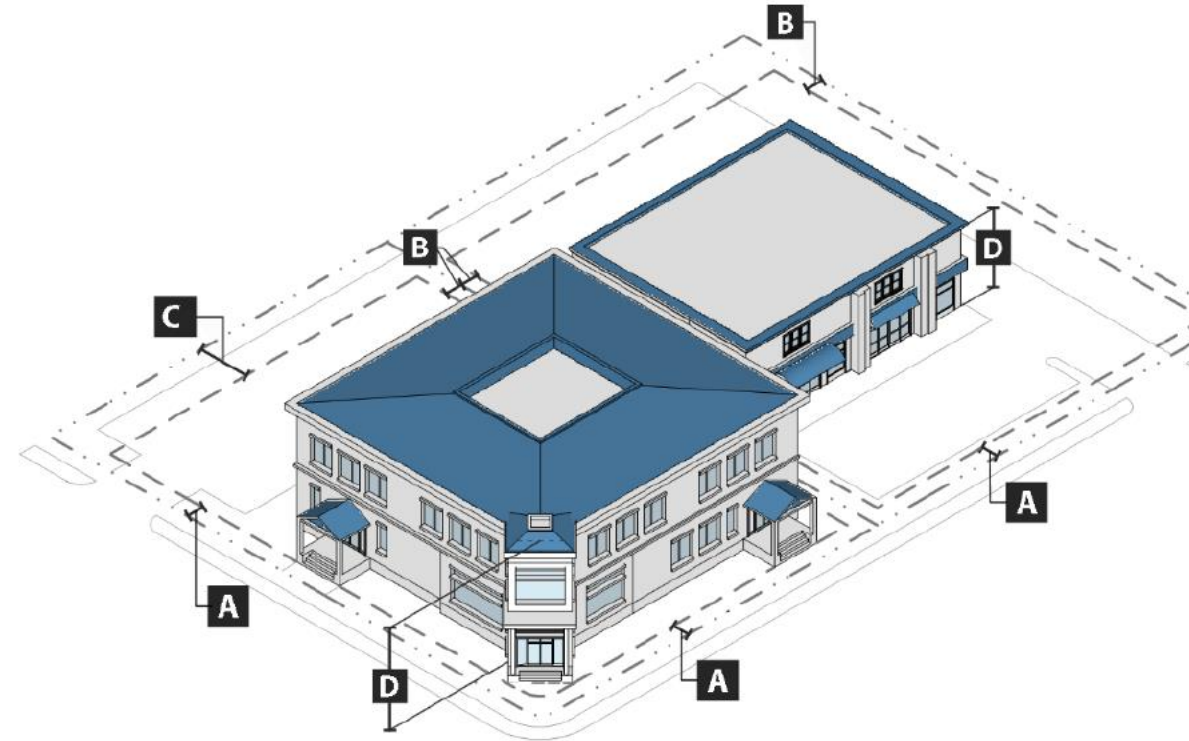


Note: There is not a one-for-one relationship between all current and proposed districts.

# General Commercial

## d. Residential Development.

Residential dwelling units in new development and redevelopment are permitted *only above a single story of a building* that has only non-residential uses on its ground floor.



**Should be clarified to read:** “A single story of residential dwelling units is permitted in new development or redevelopment and only in a building with a first floor that consists of non-residential uses.”

# Highway Commercial

The purpose of the Highway Commercial (HC) District is to provide lands for **commercial uses** serving the needs of people traveling **on major roadways and for other auto-oriented, community- or region-serving commercial development located along major roadway corridors.**

Carries forward Highway-Related Commercial Districts (BH) in the current Zoning Ordinance.

This builds on the intent statement for the BH district with revisions to **reference community-serving and region-serving** commercial development, whereas the **current intent statement** references “auto-related businesses serving mainly the local market.” It incorporates guidance from the Corridor Commercial character type in the Comprehensive Plan.

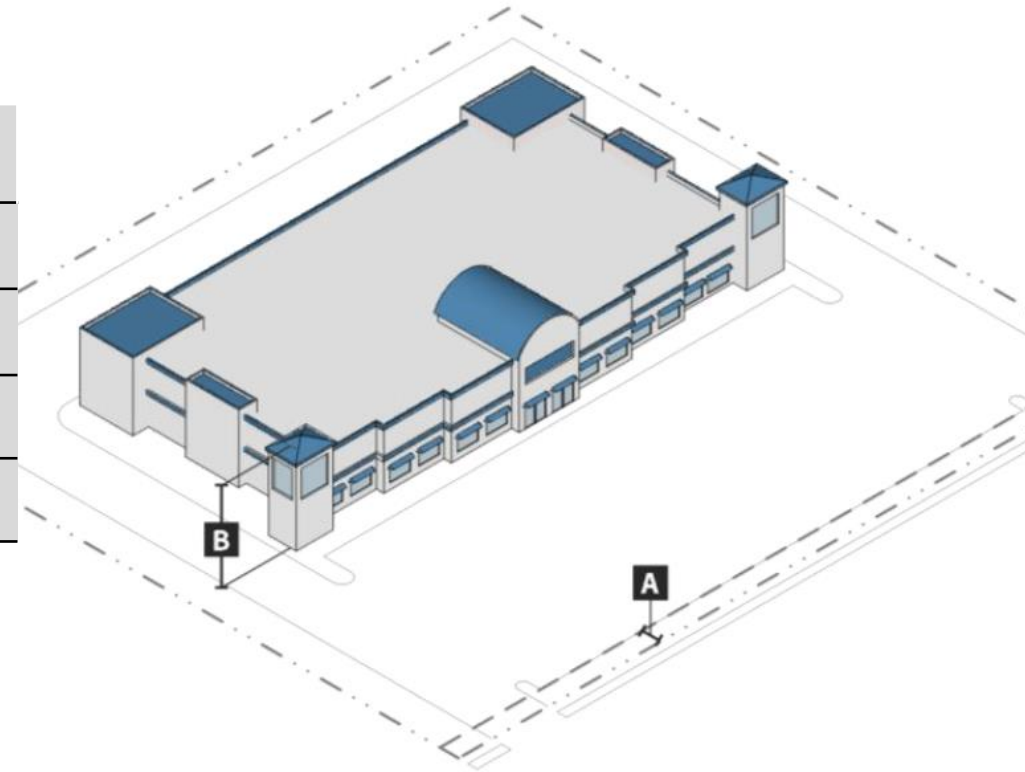
# Highway Commercial

**Table 4-54: HC Intensity and Dimensional Standards**

	STANDARD	ALL USES	Current BH
<b>A</b>	Front setback (min)	20 ft	20 ft
	Side setback (min)	0 ft	0
	Rear setback (min)	0 ft	0
<b>B</b>	Building height (max)	60 ft	60 ft

**NOTES**

[1] max = maximum; min = minimum; ft = feet



Note: There is not a one-for-one relationship between all current and proposed districts.

# Industrial Districts

IL – Industrial Light

IG – Industrial General

IH – Industrial Heavy

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# Comparison to current districts

Current industrial districts	Proposed districts
ML – Light Industrial	Industrial Light
MG – General Industry	Industrial General
MH – Heavy Industry	Industrial Heavy

**Note:** There is **not a one-for-one relationship** between all current and proposed districts. This table relates generally similar districts, but future changes to the zoning map will be considered on a case-by-case basis.

# Industrial Light

The purpose of the Industrial Light (IL) District is to provide lands for research and development, light industrial, assembly, flex space and other business support uses in an **attractive and high-quality form and setting**, which minimizes impacts to adjacent lands. Uses allowed include research and development, other light industrial uses that are **compatible with a general office environment** (e.g., establishments primarily engaged in the transformation of previously prepared materials into new products, including the assembly of component parts), offices, warehousing and wholesale uses, compatible multifamily development, and limited retail, institutional, and service uses, and eating and drinking establishments that serve those employed at the light industrial and office development.

The Industrial Light (IL) district carries forward, modernizes, and refines the ML: Light Industrial District in the current Zoning Ordinance. The modifications better align the revised district with the type of **light industry, assembly, flex space, and research uses** the City wants to allow, encourage, and support.

# Industrial Light

**Table 4-56: IL Intensity and Dimensional Standards**

	STANDARD	IL (All uses)	Current ML
<b>A</b>	Front setback (min)	30 ft [2]	30 ft
<b>B</b>	Side setback (min)	10 ft [4]	10 or 15 ft*
<b>C</b>	Rear setback (min)	15 ft [3] [4]	Same as side
<b>D</b>	Building height (max)	45 ft	45 ft

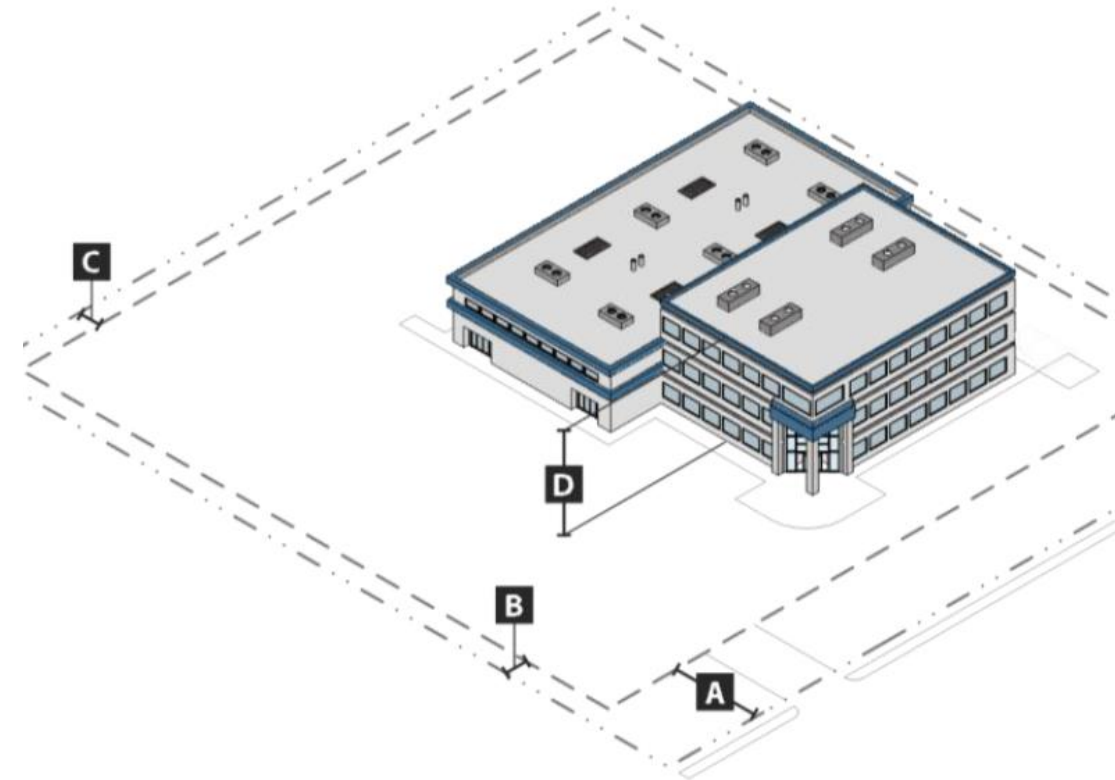
**NOTES:**

[1] max = maximum; min = minimum; ft = feet

[2] If there is an existing structure on the lot on [ ] [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side.<sup>389</sup>

[3] If lot abuts a lot in an industrial district.<sup>390</sup>

[4] If lot abuts a lot in a Residential district, development shall comply with Sec. 24-6.7, Neighborhood Compatibility Standards.<sup>391</sup>



\*If lot abuts a nonresidential district, Side setback shall be 10 ft plus 1 foot for every foot of building height above 15 ft.  
 If lot abuts a residential district, Side setback shall be 15 ft plus 1 foot for every foot of building height above 15 ft.



# Industrial General

The purpose of the Industrial General (IG) district is to provide lands for a **range of indoor and outdoor** industrial uses such as fabrication, extraction, manufacturing, assembly, processing, major utility uses, and bulk storage. District standards are intended to **minimize impacts to adjacent residential** land uses.

The Industrial General (IG) district carries forward and refines the MG: General Industry district in the current Zoning Ordinance. Generally, the dimensional standards and uses in the current MG district are carried forward, unless otherwise noted.

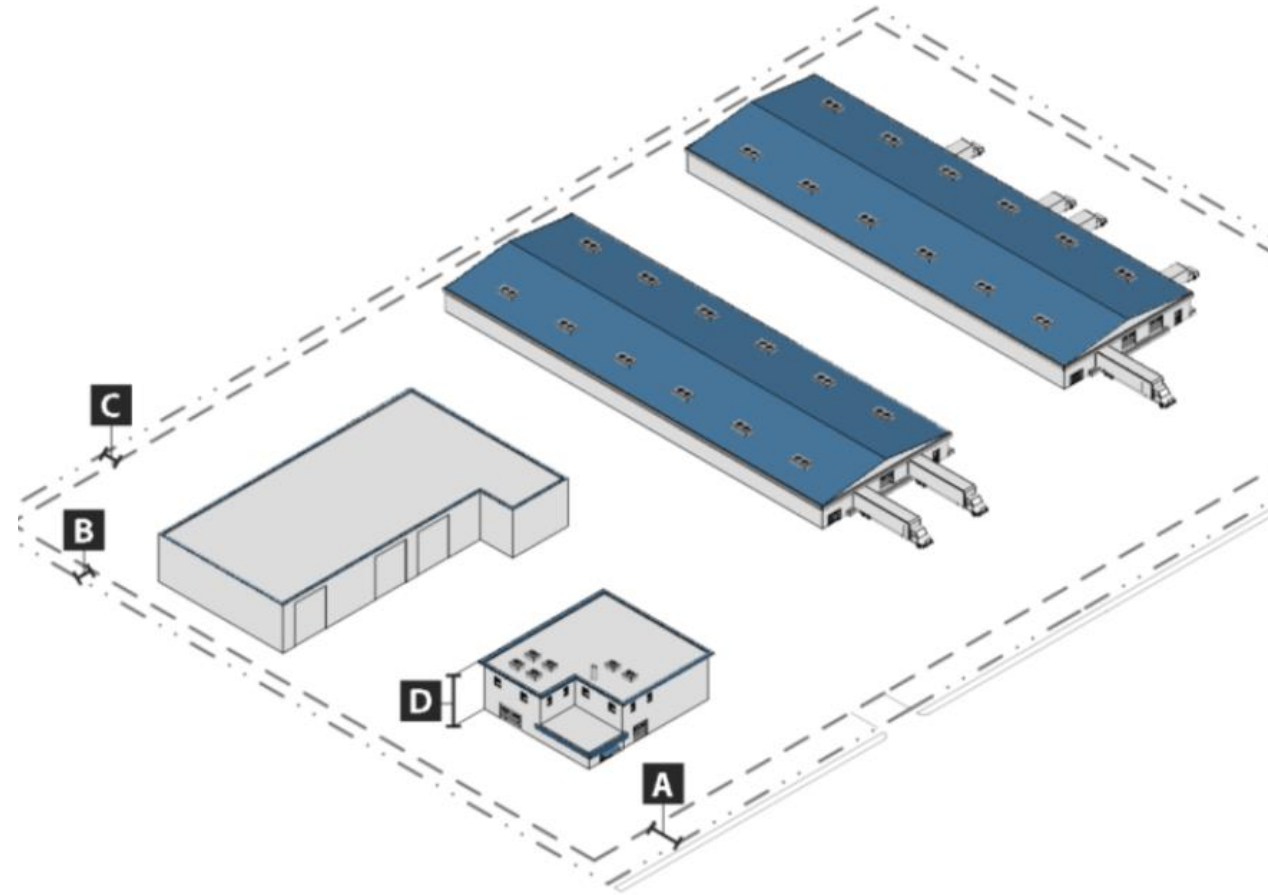
# Industrial General

**Table 4-58: IG Intensity and Dimensional Standards**

	STANDARD	IG (All uses)	Current MG
<b>A</b>	Front setback (min)	20 ft [2]	20 ft
<b>B</b>	Side setback (min)	15 ft [3]	10 or 15 ft*
<b>C</b>	Rear setback (min)	15 ft	Same as side
<b>D</b>	Building height (max)	60 ft	60 ft

**NOTES:**

- [1] max = maximum; min = minimum; ft = feet
- [2] If there is an existing structure on the lot on      [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side.<sup>394</sup>
- [3] If lot abuts a lot in a Residential district, development shall also comply with Sec. 24-6.7, Neighborhood Compatibility Standards.<sup>395</sup>



\*If lot abuts a nonresidential district, Side setback shall be 10 ft plus 1 foot for every foot of building height above 15 ft. If lot abuts a residential district, Side setback shall be 15 ft plus 1 foot for every foot of building height above 15 ft.

# Industrial Heavy

The purpose of the Industrial Heavy (IH) District is to provide lands for **intense industrial development** that generally requires large sites, as well as industrial uses that are **important to the City's economic** growth but may impact adjacent lands. The uses generally involve greater potential for adverse off-site impacts on the environment and surrounding development (e.g. from dust, fumes, smoke, odor, noise, or vibration, or due to extensive movement of vehicles, materials, and goods). Allowed uses include heavy manufacturing, production, extraction, warehouse distribution, waste disposal, wholesale sales, major utility facilities, and research laboratories. District regulations are intended to **encourage the reuse of existing industrial** development. District development is intended to include buffers and the use of mitigation techniques to ensure heavy industrial development **mitigates potential impacts** to surrounding development.

The Industrial Heavy (IH) district carries forward and refines the MH: Heavy Industry district in the current Zoning Ordinance. Generally, the dimensional standards and uses in the current MH district are carried forward, unless otherwise noted.

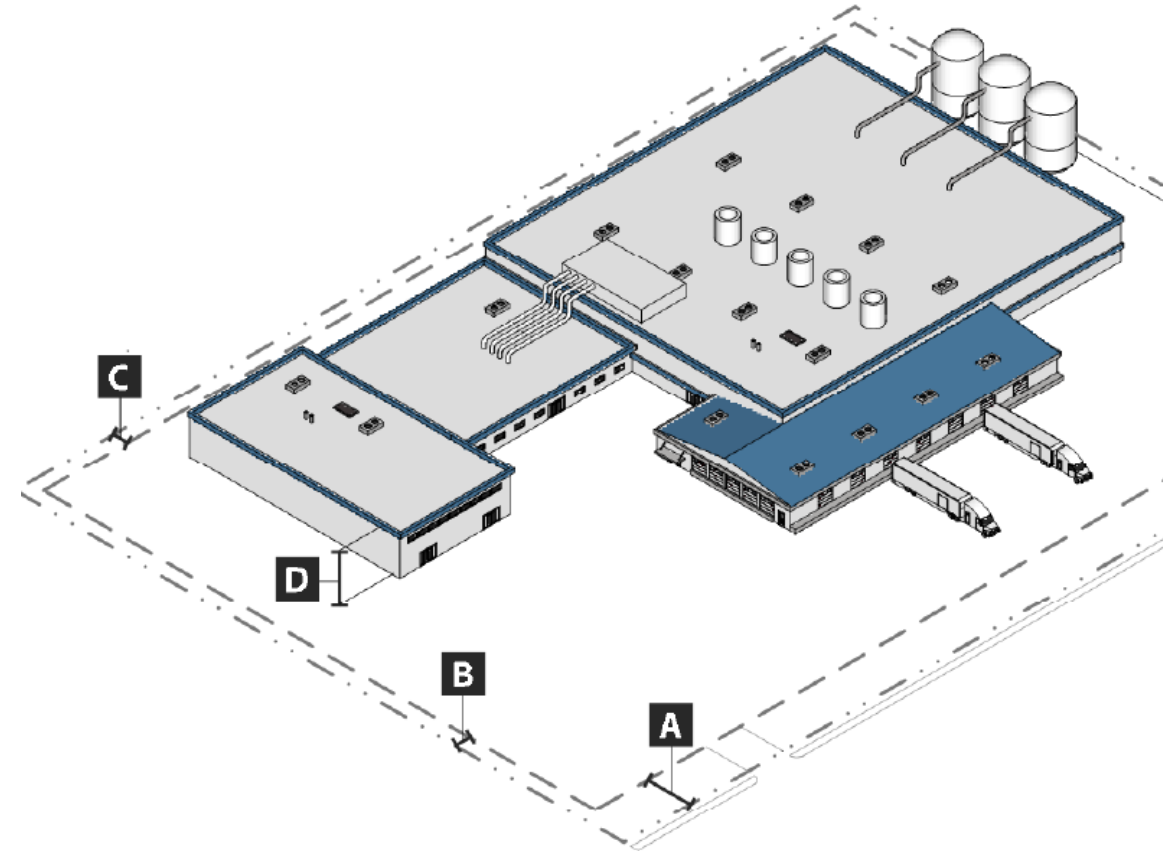
# Industrial Heavy

**Table 4-60: IH Intensity and Dimensional Standards**

	STANDARD	IH (All uses)	Current MH
<b>A</b>	Front setback (min)	30 ft [2]	30 ft
<b>B</b>	Side setback (min)	10 ft [3] / 40 ft [4]	40 or 60 ft*
<b>C</b>	Rear setback (min)	10 ft [3] / 40 ft [4]	Same as side
<b>D</b>	Building height (max)	100 ft	none

**NOTES:**

- [1] max = maximum; min = minimum; ft = feet
- [2] If there is an existing structure on the lot on      [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side.<sup>398</sup>
- [3] If lot abuts a lot in the IH or IG district.
- [4] If lot abuts a lot in the IL or a Business district, the side and rear setback shall be 40 feet.<sup>399</sup> If lot abuts a lot in a Residential district, the side and rear setback shall be at least 40 feet and shall also comply with Sec. 24-6.7, Neighborhood Compatibility Standards.<sup>400</sup>



\*If lot abuts a nonresidential district, Side setback shall be 40 ft plus 1 foot for every foot of building height above 15 ft. If lot abuts a residential district, Side setback shall be 60 ft plus 1 foot for every foot of building height above 15 ft.

# Public Comment

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# Next Steps

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# Special Called Meeting Schedule

## June 15, 2022

Institutional Districts (IU, IP, ISP)

University Commercial District (UC)

University Residential District (MRU, MFRU)

## July 20, 2022

Lake Commercial (LC)

Lake Residential (LR)

Lake Multifamily (LMF)

## August 17, 2022

Downtown Districts (D, DP, DHE)

Riverfront District (R)

## September 7, 2022

Definitions

Nonconformities

Single-family Districts (SFR-4, SFR-5)

Multifamily Districts (MFR, MR-1, MR-2)

Full schedule on [Framework.Tuscaloosa.com](https://Framework.Tuscaloosa.com)

# Provide comments

## Framework.Tuscaloosa.com

1. Review the draft articles posted prior to each meeting
2. Submit comments
3. View the meeting schedule

The screenshot displays the 'FRAME/WORK' website header with the tagline 'Creating a dynamic guide for Tuscaloosa'. The navigation menu includes 'ZONING CODE UPDATE' (highlighted), 'COMPREHENSIVE PLAN', 'ABOUT', 'NEWS', and a search icon. The main content area features a yellow background with the title 'ZONING CODE UPDATE' and a paragraph: 'On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance.' Below this text are three icons: a calendar, an open book, and two overlapping speech bubbles. Underneath each icon is a text label: 'About the zoning code update', 'Documents and work products', and 'Provide input and feedback'. A URL bar at the bottom left shows 'https://framework.tuscaloosa.com/zoning-code/'.





Adjourn

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