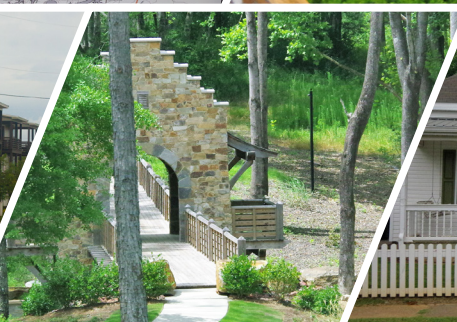




Tuscaloosa Zoning Ordinance

Special Call Meeting | June 2022

University Commercial, Mixed Residential University, Multi-family Residential University, and Institutional Districts



FRAMEWORK

Creating a dynamic guide for Tuscaloosa

SEC. 24-4.5.8. UNIVERSITY COMMERCIAL³⁹¹

a. Purpose

The purpose of the University Commercial (UC) District is to provide lands adjacent to major colleges and universities within the City that are walkable and include a variety of retail, restaurant, entertainment, lodging, office, and residential uses.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

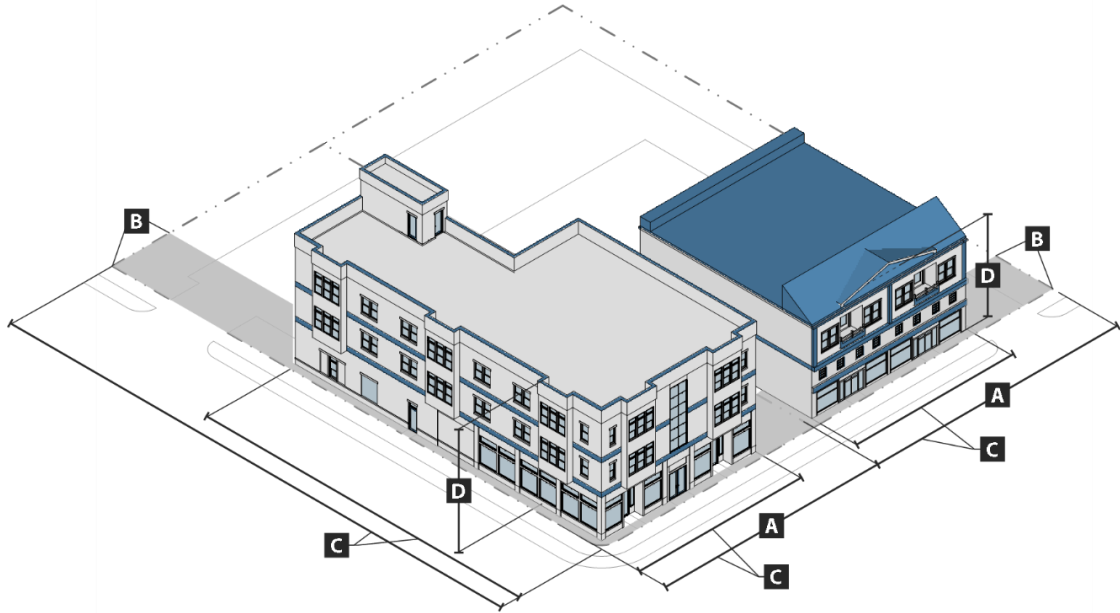
All development in the UC district shall comply with the standards in Table 4-50: UC Intensity and Dimensional Standards.

Table 4-50: UC Intensity and Dimensional Standards

	STANDARD	ALL USES
	Density (max)	6 du/acre
A	Front setback [2]	
	<i>Minimum</i>	0 ft
	<i>Maximum [3]</i>	20 ft
	Side setback (min)	0 ft [4]
	Rear setback (min)	0 ft [4]
B	Building height (max)	60 ft ³⁹²
<p>NOTES</p> <p>[1] max = maximum; min = minimum; du = dwelling units; ft = feet</p> <p>[2] The maximum front setback may be increased by 15 feet along 35 percent of the lot width for an outdoor dining area, plaza, or other area that is open to the public and that includes features such as a garden, fountain, and seating.</p> <p>[3] In the area bounded by Queen City Avenue (west), Jack Warner Parkway (north), Hackberry Lane (east), and 13th Street (south), the maximum front setback shall be 10 feet.</p> <p>[4] A buffer may be required along a side or rear lot line in accordance with Sec. 24-6.3.7, Buffers.</p>		

³⁹¹ This is a new district intended for commercial uses adjacent to the University of Alabama campus and other neighborhoods near higher education institutions that support the types of uses associated with the campus population and workforce. Development standards are new and are designed to implement the Campus Services character type from the Framework plan.

³⁹² Reduced to 60 feet in this draft.



d. Residential Development

Residential dwelling units in new development and redevelopment are permitted only on or above the second story of the building.

e. Parking Location³⁹³

In the area bounded on the west by Queen City Avenue, on the north by Jack Warner Parkway, on the east by Hackberry Lane, and on the south by 13th Street, off-street parking shall be located to the side or rear of the principal structure, and not between the front of the principal structure and the public right-of-way.

f. References to Other Standards

Development in the UC district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-51: Cross-References to Other Standards, to the extent they do not conflict with the standards in subsections d and e above.

Table 4-51: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

³⁹³ This standard is new. It is based on the Framework Comprehensive Plan direction for the Campus Services character type. Applicable street boundaries provided by staff.

SEC. 24-4.3.13. MIXED RESIDENTIAL UNIVERSITY³¹³

a. Purpose

The purpose of the Mixed Residential University (MRU) District is to provide lands for primarily single-family detached, duplex, and triplex residential development around the University of Alabama campus. The district is intended to support a medium-density residential environment and incorporate limited context-sensitive neighborhood-oriented commercial, employment, community, and educational activities.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations. In addition, the following standards apply to U-dwellings, as defined in Section 6-109 of Chapter 6 of the City Code:

- i. U-dwellings shall be constructed in accordance with Sec. 6-109 of the City Code.
- ii. When all permitted work is completed on an eligible U-dwelling development, as defined in subsection iii below, and the U-dwelling has passed all final site, building, and zoning inspections and has been issued a final certificate of occupancy by the Chief Building Official, the property may be certified to allow up to five unrelated persons to live in a single dwelling unit.³¹⁴
- iii. Eligible U-dwelling development in the MRU District which may be certified in accordance with subsection ii above, shall include the following:³¹⁵
 - (a) New construction of a permitted U-dwelling allowed in the base zoning district that complies with the requirements of this Ordinance and all other applicable City, county, state, and federal regulations; or
 - (b) Redevelopment or conversion of an existing building and site to a U-dwelling in order to fully comply with the requirements of this Ordinance and all other applicable City, county, state, and federal regulations.

c. Intensity and Dimensional Standards

All development in the MRU district shall comply with the standards in Table 4-26: MRU Intensity and Dimensional Standards.

Table 4-26: MRU Intensity and Dimensional Standards

	STANDARD	SINGLE-FAMILY DETACHED	TRIPLEX	ALL OTHER USES
	Density (max)	200 bedrooms per acre, not to exceed 200 bedrooms in any one development	200 bedrooms per acre, not to exceed 200 bedrooms in any one development	200 bedrooms per acre, not to exceed 200 bedrooms in any one development
	Lot area (min)	None	None	None
	Lot width (min)	None	None	None
A	Front setback (min)	15 ft [2]	15 ft [2]	15 ft [2]

³¹³ This is a new district with standards based on the standards for the current R-4U district. The existing lot width-to-depth ratio for townhouse lots has been reduced from one-third to one-fourth to allow for deeper townhouse lots. Standards relating to heights of accessory uses in Sec. 24-37 of the current Zoning Ordinance are relocated to the accessory uses standards in Sec. 24-5.3.1.

³¹⁴ This provision carries forward Sec. 24-220(d) of the current Zoning Ordinance.

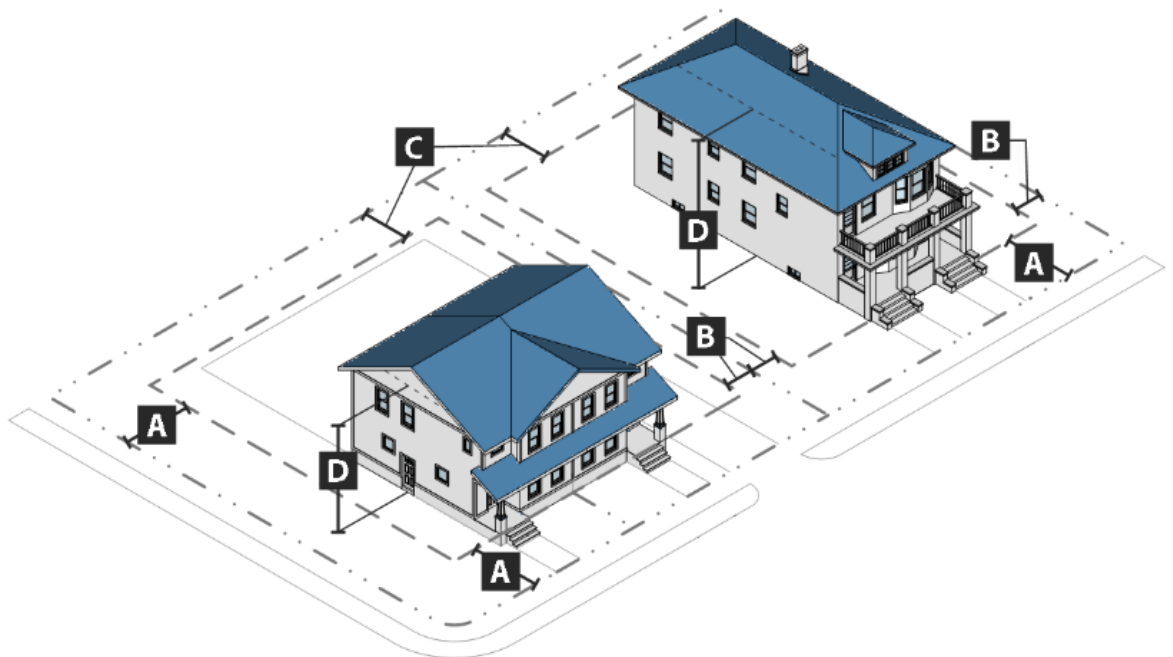
³¹⁵ This provision carries forward Sec. 24-220(c) of the current Zoning Ordinance.

Table 4-26: MRU Intensity and Dimensional Standards

	STANDARD	SINGLE-FAMILY DETACHED	TRIPLEX	ALL OTHER USES
B	Side setback (min)	5 ft; 14 ft combined both sides	6 ft; 16 ft. combined both sides	7 ft [3]
C	Rear setback (min)	10 ft	10 ft	10 ft
D	Building height (max)	37 ft	37 ft	37 ft

NOTES

- [1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet
- [2] For corner lots, the front yard abutting the side street shall be five feet. The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 15 feet.
- [3] No townhouse lot shall be less than one-fourth as wide as it is deep. There is no minimum side setback for townhouses, except a minimum side setback of seven feet is required at each end of a row of townhouse units.



d. Site Design Standards

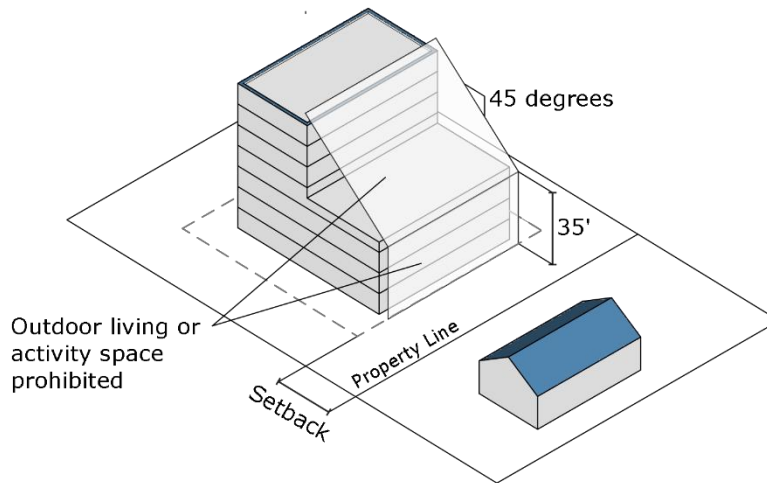
1. Neighborhood Compatibility

Development, other than a detached single-family dwelling, that abuts the Historic Buffer (HB) overlay district, an historic district, or an existing single-family detached house used for residential purposes in a residential zone district shall comply with the following standards:

- i. No building shall extend into a 45 degree angular plane projecting over the abutting property, measured from a height of 35 feet at the side interior or rear setback line. Where a building roof is stepped back to comply with this requirement, rooftop living space is prohibited within the stepped back portion of the roof. See Figure 4-1: Rooftop Living Space Restrictions.³¹⁶

³¹⁶ Added in April draft to incorporate a restriction regarding use of rooftop space within the area bounded by the 45 degree angular plane and to include a re-created version of the illustrative figure from Sec. 24-250 of the current Zoning Ordinance that includes the outdoor activity space prohibition.

Figure 4-1: Rooftop Living Space Restrictions



- ii. A fence or wall having a minimum height of six feet shall be constructed along the property line shared with the abutting property (see subsection 6, Fences and Walls, below).

2. Parking

i. Minimum Parking Required

- (a) A minimum of one parking space per bedroom is required. All parking spaces used to comply with this minimum parking standard shall be off-street parking spaces, except as otherwise provided in this section.
- (b) On property located south of University Boulevard, north of Paul W. Bryant Drive, east of Gene Stallings Avenue, and west of Hackberry Lane, on-street parking spaces that comply with the following standards may be used to comply with the minimum parking standard in subsection (a) above:
 - (1) The on-street space is located on a public right-of-way immediately abutting the subject property;
 - (2) The on-street space is located on an "Avenue," not a "Street;"
 - (3) No more than 50 percent of the on-street parking located in the areas specified in subsections (1) and (2) above is counted towards the minimum parking requirements for a development;
 - (4) The number of on-street parking spaces used does not exceed 20 percent of the total number of required parking spaces; and
 - (5) Curb stops are installed so that sidewalks are not affected.
- (c) Along Convent Street, Oak Avenue, and 14th Avenue properties adjacent to the historic districts, the on-street parking spaces immediately abutting the subject property may be used to comply with the minimum parking standard in subsection (a) above.
- (d) On-street parking spaces may be used to comply with the minimum parking standard in subsection (a) above, for small redevelopments in accordance with Sec. 24-4.3.13.f, Small Redevelopment Standards.

ii. Location

Parking is prohibited between the front façade of the structure and the front property line. On corner lots, the parking may encroach past the front façade along the side street, but the parking must be screened from the public right of way by a wall that is at least 42 inches in height and constructed of the same materials as the principal building(s).

iii. Large Parking Lots

Open, surface parking lots containing 50 or more spaces shall be divided into smaller areas separated by (1) landscaped areas at least 10 feet wide that comply with subsection 4 below, or (2) a building or a group of buildings. At least ten percent of the total surface area of each such parking lot shall be used for landscaping that is distributed and designed in accordance with an overall landscaping plan.

iv. Parking Structures

(a) Parking structures, if provided, shall be architecturally integrated or designed with an architectural theme similar to that of the principal building(s).

(b) Vehicles shall be screened from view with a metal or architectural panel such as galvanized welded wire steel/mesh panels, an aluminum louver system, or similar treatments. The following materials, as well as materials which the Director of Planning determines to be visually similar to the listed materials, are prohibited:

- (1) Chain link (including coated chain link);
- (2) Vinyl or other fabrics; and
- (3) Window screen material.

v. Mechanical Lifts

The use of mechanical lifts for parking is prohibited.

vi. Bicycle Parking

Bicycle parking shall be provided in accordance with Sec. 24-6.2.9, Bicycle Parking Standards, and the following standards:

- (a) In each new development or redevelopment, a minimum of one bicycle parking space per unit shall be provided for developments with four and five bedrooms per unit. In a new development or redevelopment featuring units containing one, two, or three bedrooms per unit, a minimum one bicycle parking space per every five bedrooms shall be provided, rounded to the next highest whole number.
- (b) Bicycle racks shall be installed on the exterior side or rear of a building and shall be high-quality, inverted “U”-type construction or be attached to the building. Alternative high-quality bicycle parking racks may be approved by the Director of Planning if they can be shown to support the bicycle at two points of contact to the bicycle wheels and frame.
- (c) Bicycle parking spaces may be located in an internal bicycle storage room, if the room is lockable and contains systems for locking to allow for at least two points of contact to the bicycle wheels and frame.

3. Sidewalks

- i. In order to establish safe and efficient pedestrian circulation, new development shall include sidewalks that directly connect the main entrances of buildings on the site with each other and with available access points including parking areas, streets, sidewalks, and transit stops. Where such sidewalks traverse parking areas, the sidewalk shall be clearly identifiable through changes in material or elevation.
- ii. New development shall install sidewalks along all street frontages as needed for pedestrian mobility or safety and as appropriate to the location. Installation of such

sidewalks is not required where the Director of Planning determines a sidewalk is impractical or unfeasible. Each sidewalk shall have a minimum width of four feet or the width of the existing abutting sidewalk, whichever is greater.³¹⁷

- iii. Except as otherwise provided by subsection ii above, a landscaped strip at least five feet wide shall be provided between the street and the sidewalk along all street frontages. The landscaped strip shall be grass, landscaping, or trees, and shall incorporate the provisions of the right-of-way landscape requirements in subsection 4 below. Additionally, bollards shall be provided between the street and the sidewalk at intervals of four feet, except where the Director of Planning determines the bollards are impractical or unfeasible.

4. Landscaping

- i. At least one canopy tree having a minimum three-inch base caliper shall be planted or preserved in the required rear yard. The tree may be an existing tree on the site that is preserved or it may be planted. Every parking space provided in accordance with subsection 2 below shall be within a 60-foot radius of the trunk of at least one tree. All efforts should be made to retain existing healthy canopy trees.
- ii. Where development occurs adjacent to an existing street, one canopy tree having a minimum three-inch base caliper shall be planted or preserved on the street frontage for every 50 feet of lot width. All efforts should be made to retain existing healthy canopy trees.
- iii. Trees planted to comply the requirements of this section shall be installed with an irrigation bag or be watered by an irrigation system operated by the developer to ensure healthy growth. The irrigation bag or system shall be maintained for a minimum of two summer growing seasons.
- iv. Except as otherwise provided in this section, all trees required by this section shall be maintained in landscape islands. Each landscape island shall be sodded, seeded, mulched, or planted with shrubs and/or groundcover, and may incorporate low impact development best management practices, such as rain gardens and bioswales, to promote infiltration of stormwater.

5. Screening

- i. All parking lots and parking spaces shall be screened in accordance with Sec. 24-6.3.6.c. Parking Lot Perimeter Landscaping Standards.
- ii. Solid waste containers shall be screened from view from the right-of-way and adjacent properties using similar building materials as the primary structure.
- iii. All mechanical equipment located on the roof of a structure shall be screened by parapet walls that exceeds the height of the mechanical unit by at least one foot. All other mechanical equipment must be screened with a wall or fence. All such screens shall be constructed from the primary building material or opaque landscaping at least 30 inches in height at installation and maintained at that minimum height in a healthy condition.

6. Fences and Walls³¹⁸

- i. Fences and walls shall be constructed of wood, brick, stucco, or metal. Wood fences must be of a decorative style, such as shadow box or picket.
- ii. Chain link, razor wire, barbed wire, and concertina wire are prohibited as fencing material.

³¹⁷ The minimum sidewalk width requirement is new.

³¹⁸ These provisions may be refined and consolidated with generally applicable fence and wall standards in Article 24-6: Development Standards.

- iii. In a front setback, no part of a fence shall be within ten feet of the curb line. Fences are prohibited in the public right-of-way.

7. Exterior Lighting³¹⁹

- i. All light fixtures shall be designed and oriented so as to not direct glare or excessive illumination onto adjacent properties, streets, or sidewalks.
- ii. Flood lights, wall packs, and flood lamps must either (i) be aimed downward at least 45 degrees from vertical, or (ii) use a shielded fixture so that no portion of the light bulb extends below the bottom edge of the shield.
- iii. The maximum height for freestanding light fixtures is 12 feet. Service connections for all freestanding light fixtures must be installed underground.
- iv. All surface parking areas shall be illuminated using light fixtures so that lighting is consistent across the parking area. Freestanding light poles may be located within required landscaped areas in surface parking areas.
- v. All structured parking shall be illuminated using light fixtures so that lighting is consistent across all public areas in the structure and no areas are dark or dim.

8. Mechanical Equipment and Utilities

- i. Mechanical equipment associated with residential uses, such as HVAC units and security lighting, may encroach into a required rear or side setback, provided that such extension is at least two feet from the vertical plane of any lot line.
- ii. All utilities shall be installed underground, except where such utilities are not visible from any right-of-way.

9. Accessory Structures

Accessory structures on any lot used primarily for residential purposes shall comply with the following standards:

- i. Accessory structures are prohibited in front yards.
- ii. Accessory structures may be located within a side yard provided they are not located between the principal building and a street, and set back at least five feet from all lot lines.
- iii. Accessory structures may be located within rear yards, provided they are set back at least five feet from all lot lines and that no more than 30 percent of any rear yard is covered by accessory structures.
- iv. Accessory structures shall not be occupied at any time as a dwelling.
- v. No single accessory structure shall exceed 600 square feet or 40 percent of the principal building's building floor area, whichever is greater.

e. Building Design Standards

1. Entrances

Operable, street-facing entrances are required on each building façade that fronts a public street.

2. Ground Floor Elevation

The ground floor elevation of each building shall be at least 24 inches and shall not exceed 30 inches. For purposes of this requirement, ground floor elevation is measured from the top

³¹⁹ These standards may be refined and consolidated with generally applicable exterior lighting standards in Article 24-6: Development Standards.

of the sidewalk or the mean level of the finished grade abutting the building to the top of the finished ground floor.

3. Variation Among Adjacent Buildings

To avoid uniform styles and provide visual interest, adjacent buildings shall be constructed with variations in materials, roof form, window patterns, elements, and façade projections, as approved by the Director of Planning.

4. Façade Projections³²⁰

Each residential structure must include a front porch, stoop, or balcony that complies with the standards in this section on each building façade that fronts a public street.

i. Front Porch

- (a) A front porch must be at least six feet deep, not including any steps providing access to the porch.
- (b) A front porch must have an unbroken width of at least 50 percent of the width of the building façade from which it projects, not including any steps providing access to the porch.
 - (1) If one set of access stairs is required, those stairs shall not be located along the front façade of the building.³²¹
 - (2) If two sets of access stairs are required, one may be located on the front façade, as long as the usable porch space is not less than 50 percent of the building façade from which it projects.
- (c) A front porch must be roofed and may be screened, but shall not be fully enclosed.
- (d) A front porch may extend up to nine feet, including the steps, into a required setback, provided that such extension is at least two feet from the vertical plane of any lot line.

ii. Stoop

- (a) A stoop must be no more than six feet deep, not including any steps providing access to the stoop.
- (b) A stoop may be covered but shall not be fully enclosed.

iii. Balcony

A balcony may be covered and/or screened, but shall not be fully enclosed.

5. Façade Variation

Each ground-floor building façade facing a public street shall include at least one of the following every ten feet of its width, between the ground level and a height of ten feet:

- i. A substantial material change (paint color is not considered a substantial change);
- ii. A window or door;
- iii. A stoop or balcony; or
- iv. A column, pilaster, or other articulation greater than 12 inches in depth.

³²⁰ Several of the standards are applied throughout the city in Sec. 24-2.2.4, Allowable Encroachments, and thus have been removed from this section in the Revised Module 3 draft.

³²¹ This provision clarifies how the set of access stairs for the building relates to the front porch and front building façade.

6. Building Materials Allowed

i. Primary Materials

Primary material changes shall occur only at inside corners. The following materials are required for not less than 75 percent of the building wall surface area on each façade:

- (a) Brick and tile masonry;
- (b) Native stone (or synthetic equivalent);
- (c) Wood-clapboard or shingles;
- (d) Glass curtain wall;
- (e) Cementitious siding; and
- (f) Stucco (cementitious finish).

ii. Accent Materials

The following materials may make up 25 percent of the building wall surface area on each façade:

- (a) Pre-cast masonry (for trim and cornice elements only);
- (b) External insulation finishing system – EIFS (for trim and cornice elements only);
- (c) Gypsum reinforced fiber concrete – GFRC (for trim elements only);
- (d) Metal (for beams, lintels, trim elements, and ornamentation);
- (e) Split-faced block (for piers, foundation walls and chimneys only);
- (f) Glass block;
- (g) Vinyl shakes or shingles; and
- (h) Vinyl clapboard (with a minimum thickness of 0.044 inches).

iii. Alternative Materials

Alternative building materials not listed in subsections i or ii above may be approved by the Director of Planning if it is determined the alternative building materials are equivalent or better than the listed materials. The use of regionally-available materials is preferred.

iv. Parking Structure Screening Materials

Where screening of parking areas within a structure is required, it shall use a metal or architectural panel, such as galvanized welded wire steel/mesh panels or an aluminum louver system. The following materials, and any material the Director of Planning determines closely mimics any of the following materials, shall not be used to screen parking areas:

- (a) Chain link (including coated chain link);
- (b) Vinyl or other fabrics; and
- (c) Window screen material.

7. Elevated Structures

- i. Elevated structures are prohibited in the MRU subdistrict except as otherwise provided in Sec. 24-4.3.13.f, Small Redevelopment Standards.
- ii. All elevated structures with at-grade parking areas located beneath the building shall include exterior screening walls to conceal the parking lot from view from the public right-of-way, not including alleys. Screening walls shall be at least four feet tall and shall be constructed of same materials as the principal building. A minimum landscaping strip that is at least three feet wide shall be provided between the screening wall and all adjacent

rights-of-way. The landscaping strip shall be planted with shrubbery having a minimum height of 30 inches at installation and capable of forming a continuous evergreen hedge having a minimum height of 36 inches.

f. Small Redevelopment Standards

1. The following standards apply to development on a lot of 0.25 acres or less that will result in density of one-third (1/3) or less of the density allowed by this section:
 - i. Up to one on-street parking space immediately abutting the property may count toward the minimum parking required by Sec. 24-4.3.13.d.2.i, Minimum Parking Required.
 - ii. Elevated structures are allowed and may include living space that overhangs the rear of the structure, as long as the overhang is less than 50 percent of the depth of the main footprint and requires no posts for support.
2. The following standards apply to development on a lot of more than 0.25 acres and less than 0.50 acres that will result in density of one-third (1/3) or less of the density allowed by this section:
 - i. Up to two on-street parking spaces immediately abutting the property may count toward the minimum parking required by Sec. 24-4.3.13.d.2.i, Minimum Parking Required.
 - ii. Elevated structures are allowed and may include living space that overhangs the rear of the structure, as long as the overhang is less than 50 percent of the depth of the main footprint and requires no posts for support.
3. For development on a lot 0.50 acres in size or larger that will result in density of 100 or fewer bedrooms per acre, the minimum parking required by Sec. 24-4.3.13.d.2.i, Minimum Parking Required, may be reduced by ten percent, rounded down to the nearest whole number.

g. References to Other Standards

Development in the MRU district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, except as otherwise provided in this section, including but not limited to the standards referenced in Table 4-27: Cross-References to Other Standards.

Table 4-27: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.3.14. MULTIFAMILY RESIDENTIAL UNIVERSITY³²³

a. Purpose

The purpose of the Multifamily Residential University (MFRU) District is to provide lands within close proximity of the University of Alabama for primarily residential neighborhoods that include multifamily development. The district is intended to support a high-density residential environment and incorporate limited context-sensitive neighborhood-oriented commercial, employment, community, and educational activities.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations. In addition, the following standards apply to U-dwellings, as defined in Section 6-109 of Chapter 6 of the City Code:

- i. U-dwellings shall be constructed in accordance with Chapter 6, Section 6-109, of the City Code.
- ii. When all permitted work is completed on an eligible U-dwelling development, as defined in subsection i above, and the U-dwelling has passed all final site, building, and zoning inspections and has been issued a final certificate of occupancy by the Chief Building Official, the property shall be certified to allow up to five unrelated persons to live in a single dwelling unit.³²⁴
- iii. Eligible U-dwelling development in the MFRU District which may be certified in accordance with subsection ii above, shall include the following:³²⁵
 - (a) New construction of a permitted U-dwelling allowed in the base zoning district that complies with the requirements of this Ordinance and all other applicable City, county, state, and federal regulations; or
 - (b) Redevelopment or conversion of an existing building and site to a U-dwelling in order to fully comply with the requirements of this Ordinance and all other applicable City, county, state, and federal regulations.

c. Intensity and Dimensional Standards

All development in the MFRU district shall comply with the standards in Table 4-28: MFRU Intensity and Dimensional Standards.

Table 4-28: MFRU Intensity and Dimensional Standards

	STANDARD	ALL USES
	Density (max)	200 bedrooms per acre, not to exceed 200 bedrooms in any one development
	Lot area (min)	None
	Lot width (min)	None
A	Front setback (min)	10 ft [2]
B	Side setback (min)	Single-family Detached: 5 ft; 14 ft combined both sides
		Triplex, Quadplex, or Multifamily: 6 ft; 16 ft. combined both sides
		All other uses: 7 ft [3]

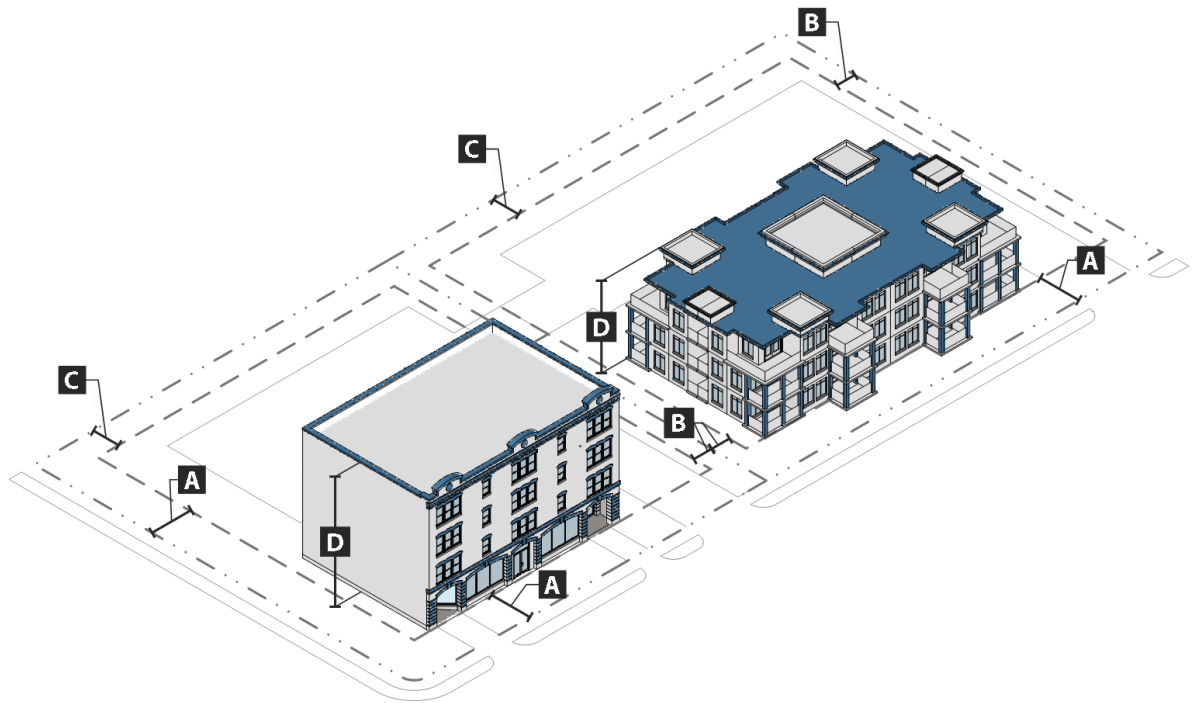
³²³ New district; standards are based off the standards for the current RMF-2U district.

³²⁴ This provision carries forward Sec. 24-220(d) of the current Zoning Ordinance.

³²⁵ This provision carries forward Sec. 24-220(c) of the current Zoning Ordinance.

Table 4-28: MFRU Intensity and Dimensional Standards

	STANDARD	ALL USES
C	Rear setback (min)	10 ft
D	Building height (max) [4] [5]	Single-Family Dwelling, U-Single Dwelling, Duplex, U-Duplex, Townhouse, or U-Rowhouse: 37 ft
		Triplex, U-Triplex, or Quadplex: Four stories, not to exceed 60 ft
		Multifamily Dwelling: 75 ft
<p>NOTES</p> <p>[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet</p> <p>[2] For corner lots, the minimum front setback abutting the side street shall be five feet. The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 10 feet.</p> <p>[3] There is no minimum side setback for townhouses, except a minimum side setback of seven feet is required at each end of a row of townhouse units.</p> <p>[4] For development on a lot of more than 0.50 acres that will result in density of 100 or fewer bedrooms per acre, the maximum building height shall be 60 feet.</p> <p>[5] Each story in a building shall be a minimum of nine feet in height, measured floor to ceiling.</p>		



d. Design and Small Redevelopment Standards

Development shall comply with the site design, building design, and small redevelopment standards that apply in the MRU District (see Sec. 24-4.3.13.d, Sec. 24-4.3.13.e, and Sec. 24-4.3.13.f above), except:

1. All elevated structures with at-grade parking areas located beneath the building shall comply with Sec. 24-4.3.13.e.7, Elevated Structures; and

2. On property south of University Boulevard, north of 13th Street, and east of Gene Stallings Avenue, a landscape strip is not permitted for sidewalks in accordance with Sec. 24-4.3.13.d.3.iii. Instead, trees required by the landscaping standards in Sec. 24-4.3.13.d.4, shall be placed in grates with tree guards between the sidewalk and street, incorporating the provisions of the right-of-way landscape requirements of subsection Sec. 24-4.3.13.d.4.

e. References to Other Standards

Development in the MFRU district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, except as otherwise provided in this section, including but not limited to the standards referenced in Table 4-29: Cross-References to Other Standards.

Table 4-29: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.4. INSTITUTIONAL DISTRICTS³³³

SEC. 24-4.4.1. GENERAL PURPOSE³³⁴

The general purpose of institutional districts is to:

- a. Accommodate lands for major public institutions that serve the public like universities, colleges, government buildings, civic uses, secondary public and private schools, and hospital uses;
- b. Provide lands for smaller institutional uses such as libraries and government offices; and
- c. Ensure development in the City is in accordance with the Comprehensive Plan.

³³³ In order to provide more tailored standards for the institutional districts, the current institutional district is separated into three distinct institutional districts. The new Institutional University (I-U) district provides lands to accommodate the University of Alabama. The new Institutional Public (I-P) district provides lands for governmental uses, including City, county, state, and federal buildings, and the Tuscaloosa National Airport. The new Institutional Semi-Public (I-SP) district provides lands for secondary schools, cultural facilities like museums and libraries, hospitals and hospital complexes, and colleges and universities other than University of Alabama.

³³⁴ This is a new general purpose statement.

SEC. 24-4.4.2. INSTITUTIONAL UNIVERSITY ³³⁵

a. Purpose

The purpose of the Institutional University (IU) District is to provide lands for the publicly funded campus of the University of Alabama. While the district includes general standards to support the continued growth and development of the University of Alabama, since the University operates in the public interest, has demonstrated it is a good steward of the state’s resources, and generally has a positive influence on the character of the City, the district places principal reliance upon the voluntary cooperation of the university to maintain a high quality of development consistent with its master campus plan, and ensure development impacts will not have an adverse effect on surrounding properties.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the IU district shall comply with the standards in Table 4-32: IU Intensity and Dimensional Standards.

Table 4-32: IU Intensity and Dimensional Standards

STANDARD	ALL USES
Density (max)	Consistent with Master Campus Plan approved by the University of Alabama. ³³⁶
Lot width (min)	
Front setback (min)	
Side setback (min)	
Rear setback (min)	
Building height (max)	
<p>NOTES</p> <p>[1] max = maximum; min = minimum</p>	

³³⁵ The new IU district provides lands for the campus of the University of Alabama. It reflects the University Campus character type in the Comprehensive Plan.

³³⁶ Consistent with the district purpose statement, the IU district does not include any specific intensity and dimensional standards, but instead relies on the University of Alabama’s conformance with its own campus plan.

d. References to Other Standards³³⁷

Development in the IU district is not required to comply with the other standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-33: Cross-References to Other Standards.

Table 4-33: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

³³⁷ This section states that development on the University of Alabama campus is not required to comply with the standards in the Zoning Ordinance and Subdivision Regulations.

SEC. 24-4.4.3. INSTITUTIONAL PUBLIC ³³⁸

a. Purpose

The purpose of the Institutional Public (IP) District is to provide lands for governmental uses typically developed on larger sites such as City, county, state, and federal government offices, court buildings, and the Tuscaloosa National Airport. The district also accommodates accessory uses such as eating establishments that primarily serve these principal institutional uses. Standards are intended to protect surrounding residential uses from incompatible development.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the IP district shall comply with the standards in Table 4-34: IP Intensity and Dimensional Standards.

Table 4-34: IP Intensity and Dimensional Standards

STANDARD	ALL USES
Lot width (min)	Not Applicable
Front setback (min)	
Side setback (min)	
Rear setback (min)	
Building height (max)	
NOTES	
[1] max = maximum; min = minimum	

d. References to Other Standards

Development in the IP district is not required to comply with the other applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-35: Cross-References to Other Standards.

Table 4-35: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

³³⁸ The new IP district provides lands for government building uses such as City, county, state, and federal buildings, courts, and the Tuscaloosa National Airport. It reflects the Civic/Institutional character type in the Comprehensive Plan.

SEC. 24-4.4.4. INSTITUTIONAL SEMI-PUBLIC ³³⁹

a. Purpose

The purpose of the Institutional Semi-Public (ISP) District is to provide lands for colleges and universities other than the University of Alabama campus, public and private secondary schools, cultural facilities like museums and libraries, and hospitals and hospital complexes. District standards support appropriate growth and development within the district, while ensuring development impacts will not have an adverse effect on surrounding properties.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the ISP district shall comply with the standards in Table 4-36: ISP Intensity and Dimensional Standards.

Table 4-36: ISP Intensity and Dimensional Standards

STANDARD	ALL USES
Lot width (min)	Not Applicable
Front setback (min)	Not Applicable
Side setback (min)	Not Applicable
Rear setback (min)	Not Applicable
Building height (max)	Not Applicable
NOTES	
[1] max = maximum; min = minimum	

d. District-Specific Development Standards³⁴⁰

All hospital and medical complexes in the ISP district shall comply with the standards in Table 4-36: ISP Intensity and Dimensional Standards, and the following general standards:

1. The development shall be compatible with existing development adjacent to the hospital complex, in terms of form, function, and building separation.
2. Anticipated traffic generation and circulation patterns shall be compatible with internal and external street capacities and configurations.
3. Pedestrian circulation within a hospital or medical complex shall be properly integrated with buildings, parking areas, and open space, and all infrastructure supporting pedestrian circulation shall be designed and built in accordance with nationally accepted standards for such infrastructure.
4. The development shall be consistent with the Comprehensive Plan.

³³⁹ The new ISP district provides lands for colleges and universities other than the University of Alabama campus, public and private secondary schools, cultural facilities like museums and libraries, and hospitals and hospital complexes. It reflects the Civic/Institutional character type in the Comprehensive Plan.

³⁴⁰ District specific standards are included in this section for hospital complexes to ensure the hospital or hospital complex is designed and built in a way that is compatible with existing adjacent development, the development addresses traffic circulation issues, properly integrates pedestrian circulation, and is consistent with the Comprehensive Plan.

e. References to Other Standards

Development in the ISP district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-37: Cross-References to Other Standards.

Table 4-37: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations