

April 6, 2022

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Creating a dynamic guide for Tuscaloosa

Call to Order

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Welcome

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Staff

Ashley Crites, AICP, Acting Executive Director, UD

Zach Ponds, Associate Director of Planning

Will Smith, Associate Director of Planning

Jimbo Woodson, Deputy City Attorney

Planning Commission Members

Bill Wright, Chair

Tim Harrison, Vice-Chair

Vince Dooley

Estella Hare

Anne Hornsby

Eddie Pugh

Councilwoman Raevan
Howard Williams

Dena Prince

Steven Rumsey



Disclosure of Possible Conflicts

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A group of people are gathered around a table in a meeting room, looking at documents and talking. The scene is dimly lit, with a dark overlay. The people are wearing name tags and are focused on the work at hand. A sign on the table reads 'TABLE 8'.

Meeting Expectations

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Meeting Expectations

- **Steering Committee:**
 - *Will **note role in process** (state that they were a Steering Committee member at the podium/on record) if providing public comment*

Meeting Expectations

Planning and Zoning Commission Members:

- Should **review** draft code articles as provided in advance of the meetings
- Should **refrain from arguing** with public commenters
- Should **listen**, ask questions only if you do not understand and need **clarification**, be **respectful**, and desire an expedited proceeding

Meeting Expectations

All:

- Meetings will **begin at 5pm and end at 7pm**
 - If a topic is not finished, it will roll into the next scheduled meeting.
- A **three-minute timer** will be used and visible to all parties (PZC, staff, public)
 - Only the PZC members can grant a specified time extension
- Staff will **manage the flow** of the meeting for efficiency



Framework Refresher

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Planning NEXT

Jamie A. Greene, AIA FAICP

Michael Curtis, AICP

Clarion Associates
Housing and
Zoning Code

Ninigret Partners
Economic
Development

**Goodwyn, Mills,
and Cawood**
Community Facilities

Kimley-Horn
Transportation &
Mobility Planning

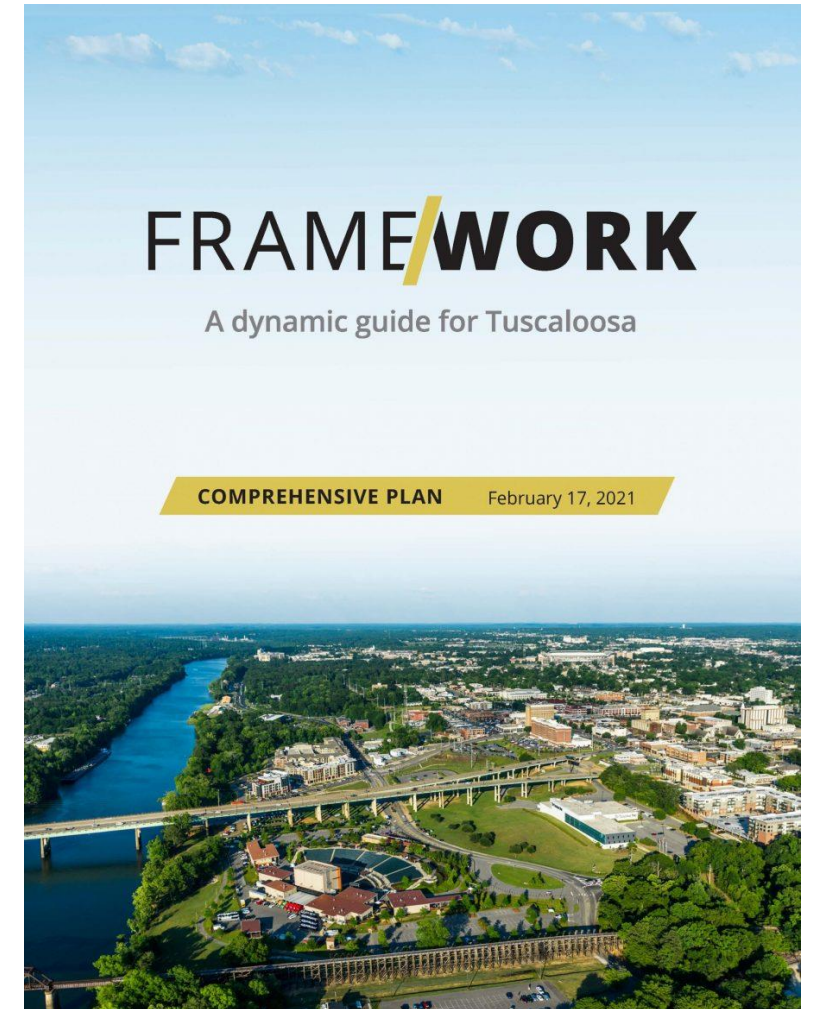
TTL
Infrastructure,
Utilities,
Transportation

What is Framework?

1. Framework is a process to define a **long-term vision for Tuscaloosa**. It will set the **direction** for the City's **growth** and development.
2. **The process created a comprehensive plan and will update the City's zoning and land development regulations.**

What is a comprehensive plan?

A **citywide policy guide** that expresses the **values** and **aspirations** of a community. It sets forth a long-range vision and actions for development, housing, environment, economic development, transportation, and related topics. The comprehensive plan acts as a **guidebook for decision-makers** and is not a legally binding document.



More specifically...

1. Contains **policies, projects, and programs** to address community aspirations and opportunities
2. **Implemented over time** through capital improvements, development approvals, city budgets, departmental work programs, economic incentives, private development decisions, etc. (10-20 year horizon)
3. **Foundation of the City's regulations** (zoning and other ordinances) but the plan is not legally binding
4. **Marketing tool** that articulates community's vision and how the private sector can support that vision

What is a zoning code?

A zoning code is the **adopted law of a city that regulates land use and development.**

It divides the city into different districts and generally governs the purpose, location and size of development in each district. A zoning code also includes provisions for the review process, parking, signs, building design and resource protection.



Participation by the Numbers

~40 Represented organizations and groups in interviews

11 Steering Committee meetings

5 Housing Subcommittee meetings

4 Lakes Subcommittee meetings

325 at Forum on the Future (November 2018)

450 at Open House (two sessions, November 2019)

137 Comment Cards Collected at Open House

80 Map comments (Open House and online before December 11, 2019)

27 Text comments (Online before December 11, 2019)

10 Adoption Process virtual meetings

Adoption Process Meetings

Process began in **February 2020**, but was paused in April after two meetings due to COVID-19.

After pausing for the summer while the City developed and tested procedures for **safe public hearings**, the adoption process restarted in September 2020 with meetings designed for:

- **Health and safety** for the Commission members, public, and staff;
- **Re-education and familiarization** with the Framework process;
- **Open and transparent conversations** regarding the work that has been done; and
- **Integration of necessary changes** caused by COVID-19 on land use, housing needs, and economy.



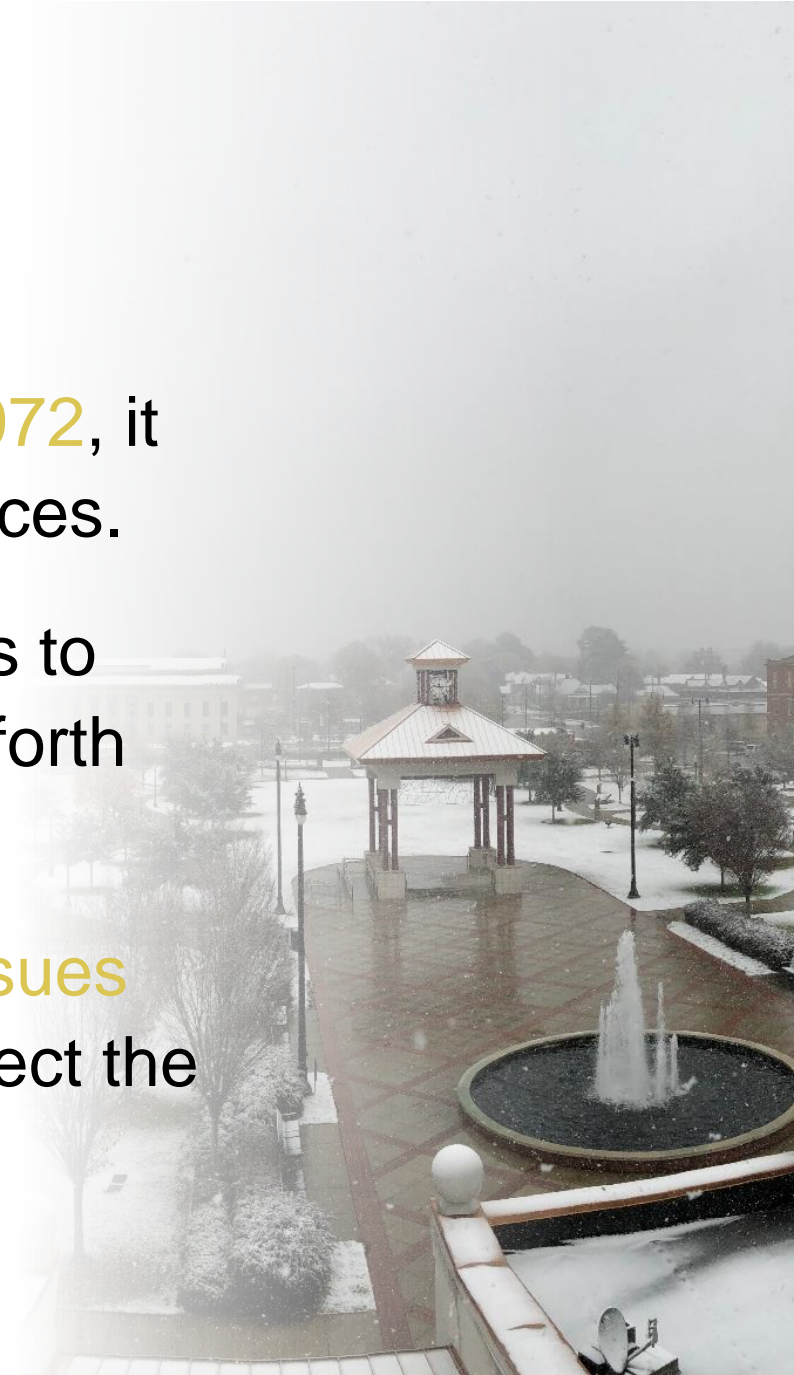
Zoning Rewrite Overview

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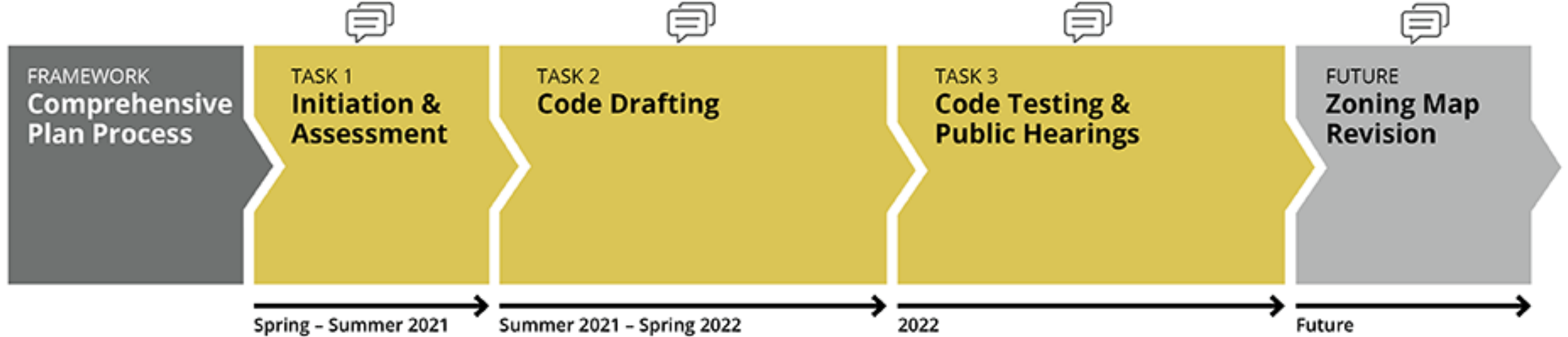
Why is this important?

- Tuscaloosa's zoning code was **last updated in 1972**, it is cumbersome and no longer reflects best practices.
- Zoning codes are one of the most important ways to implement long-term plans, like the direction set forth in the new comprehensive plan.
- The purpose of the rewrite is to **address these issues and develop new regulations** for the City that reflect the vision for land use and development.



The Code Rewrite Process

CODE REWRITE PROCESS



The code rewrite will...

- Maintain what works today and update what does not
- Make the code more user-friendly
- Implement the Comprehensive Plan's recommendations
- Redefine or consolidate some existing zoning districts and add new districts.
- Update development standards and permitted uses

Does the zoning code have limits?

The code can...

- ✓ Set minimum standards for site and building design, permitted uses, parking, access, signage, landscaping, etc.
- ✓ Support public health/safety and desirable building characteristics
- ✓ Apply to new development and redevelopment (over a certain size)
- ✓ Set requirements for applications, public notice, review, public input, and approval

The code cannot...

- ✗ Remove existing property rights or force existing development to change (applies moving forward)
- ✗ Regulate issues outside of those permitted by the State of Alabama
- ✗ Prevent construction of approved developments or proposals

Zoning Code Articles

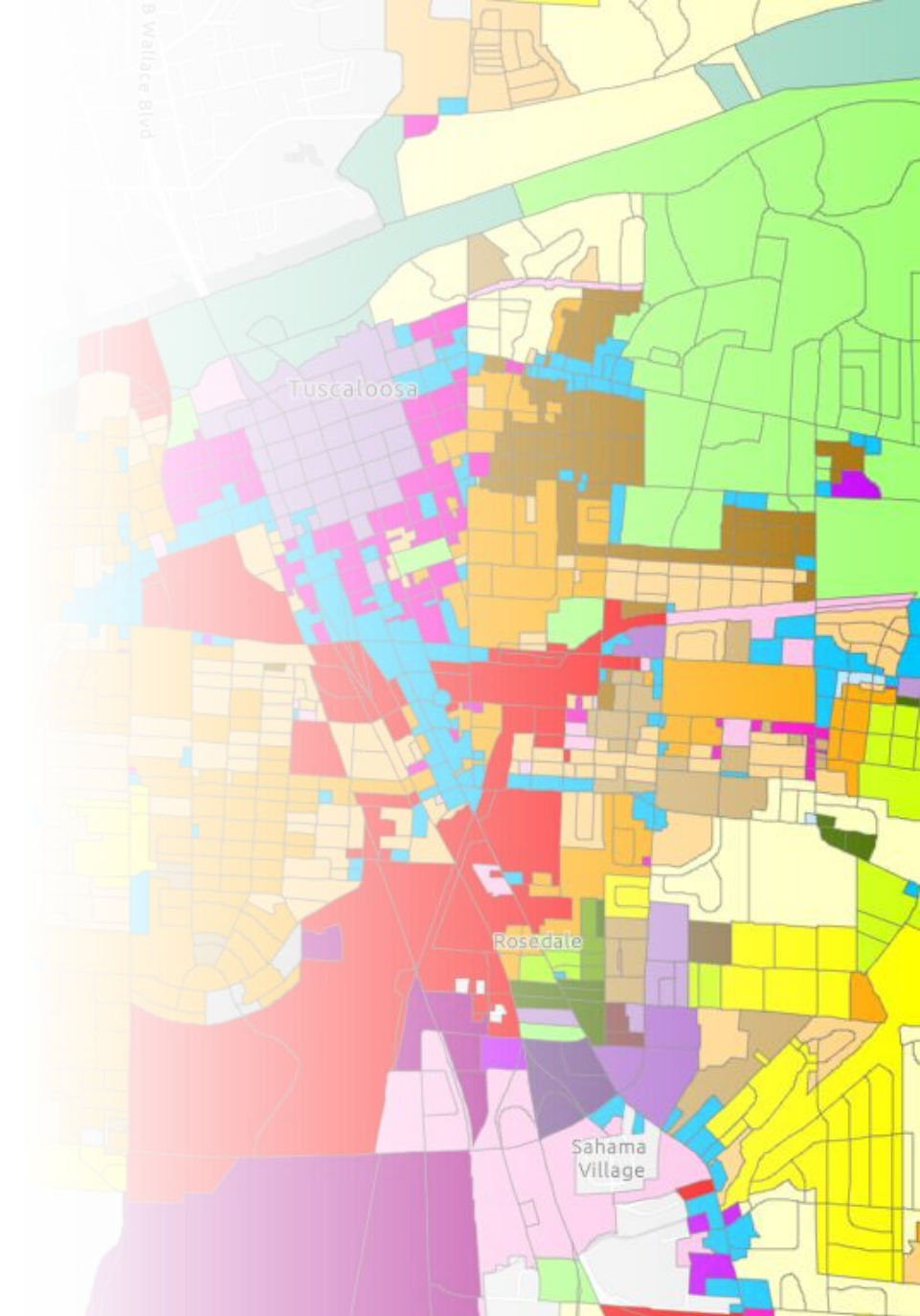
1. General Provisions
2. Definitions and Rules for Measurement
3. Administration
4. Zoning Districts
5. Use Regulations
6. Development Standards
7. Enforcement
8. Nonconformities

Article 4: Zoning Districts

Purpose: This article establishes the more than 30 zoning districts that will regulate land use and development

Each district includes:

- Purpose
- Dimensional and Intensity standards
- References to other relevant standards



Single Family Residential Districts

SFR-E

SFR-1

SFR-2

SFR-3

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Single Family Residential Estate

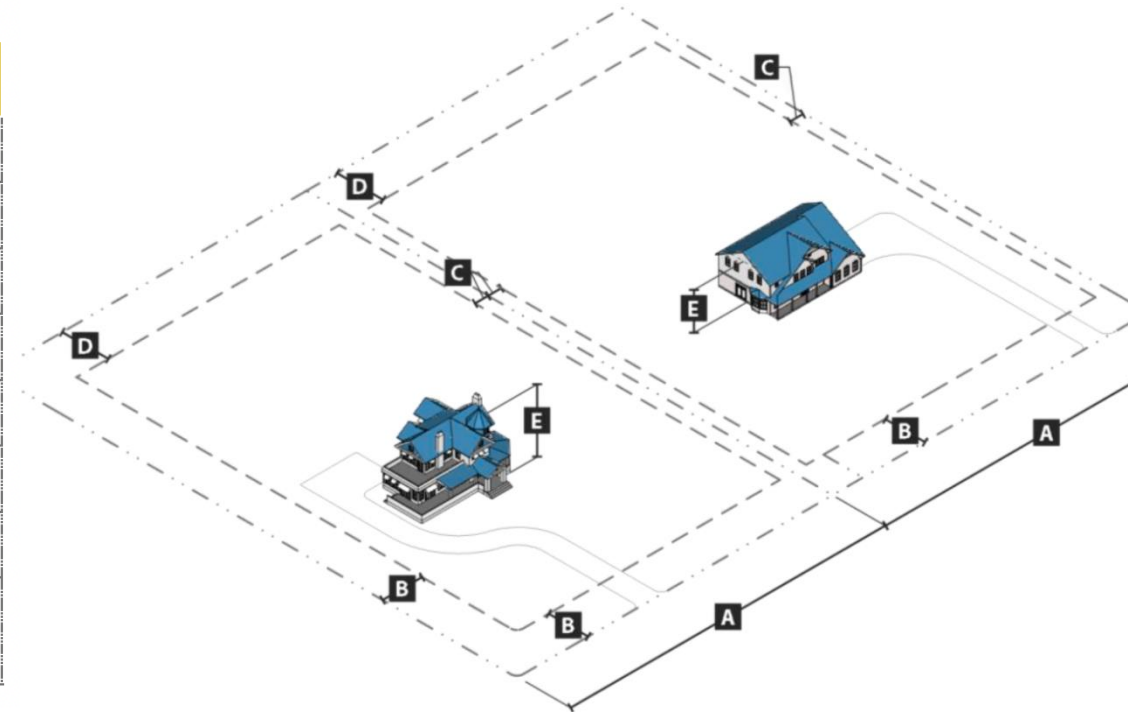
The purpose of the Single Family Residential Estate (SFR-E) District is to provide lands for large-lot suburban neighborhoods that accommodate single-family detached homes at a maximum density of one unit per two acres. The district supports a low-density residential environment and may include compatible public, civic, and institutional uses.

The new SFR-E district accommodates large lot single-family development, similar to the **current Estate Lot Conservation Overlay district (ELCOD)**.

Single Family Residential Estate

Table 4-5: SFR-E Intensity and Dimensional Standards

	STANDARD	ALL USES
	Lot area (min)	2 acres
A	Lot width (min)	85 ft
B	Front setback (min)	35 ft
C	Side setback (min)	10 ft
D	Rear setback (min)	35 ft
E	Building height (max)	35 ft
	Ground Coverage Ratio (max)	25 percent
NOTES		
[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet		



Single Family Residential 1

The purpose of the Single Family Residential 1 (SFR-1) District is to provide lands for medium-and large-lot suburban neighborhoods that accommodate single-family detached homes. The district is intended to support a low-density residential environment that may include compatible public, civic, and institutional uses.

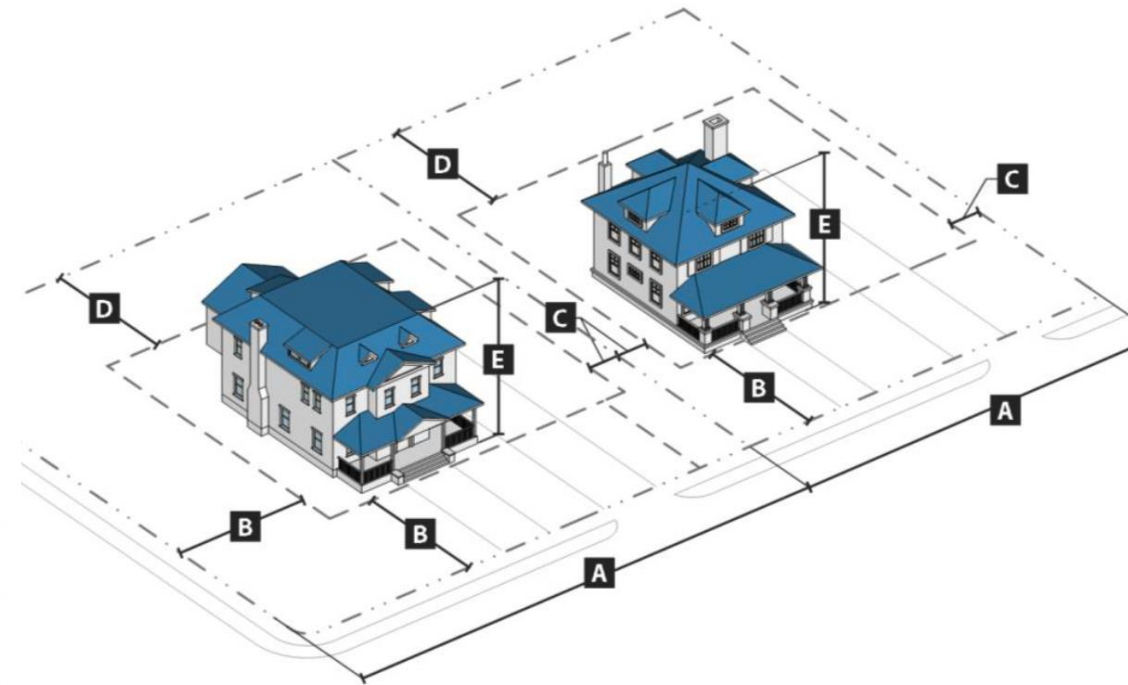
Carries forward and renames the R-1 district in the current Zoning Ordinance, with the following changes:

1. The aggregate 20-foot width requirement for lots with two side yards has not been included as the **minimum side yard requirement is ten feet**;
2. The required increase in side yard width for buildings in excess of 35 feet has not been carried forward, and
3. The maximum ground coverage ratio is increase from 25 percent to 30 percent.
4. Standards relating to heights of accessory uses in Sec. 24-37 of the current Zoning Ordinance will be relocated to the accessory uses standards.

Single Family Residential 1

Table 4-12: SFR-1 Intensity and Dimensional Standards

	STANDARD	ALL USES
	Lot area (min)	12,000 sf
A	Lot width (min)	85 ft
B	Front setback (min)	35 ft [2]
C	Side setback (min)	10 ft
D	Rear setback (min)	35 ft
E	Building height (max)	35 ft
	Ground Coverage Ratio (max)	30 percent
NOTES		
[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet		
[2] The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 35 feet.		



Single Family Residential 2

Same purpose as SFR-1. Different intensity and dimensional standards.

The purpose of the Single Family Residential 2 (SFR-2) District is to provide lands for medium-and large-lot suburban neighborhoods that accommodate single-family detached homes. The district is intended to support a low-density residential environment that may include compatible public, civic, and institutional uses.

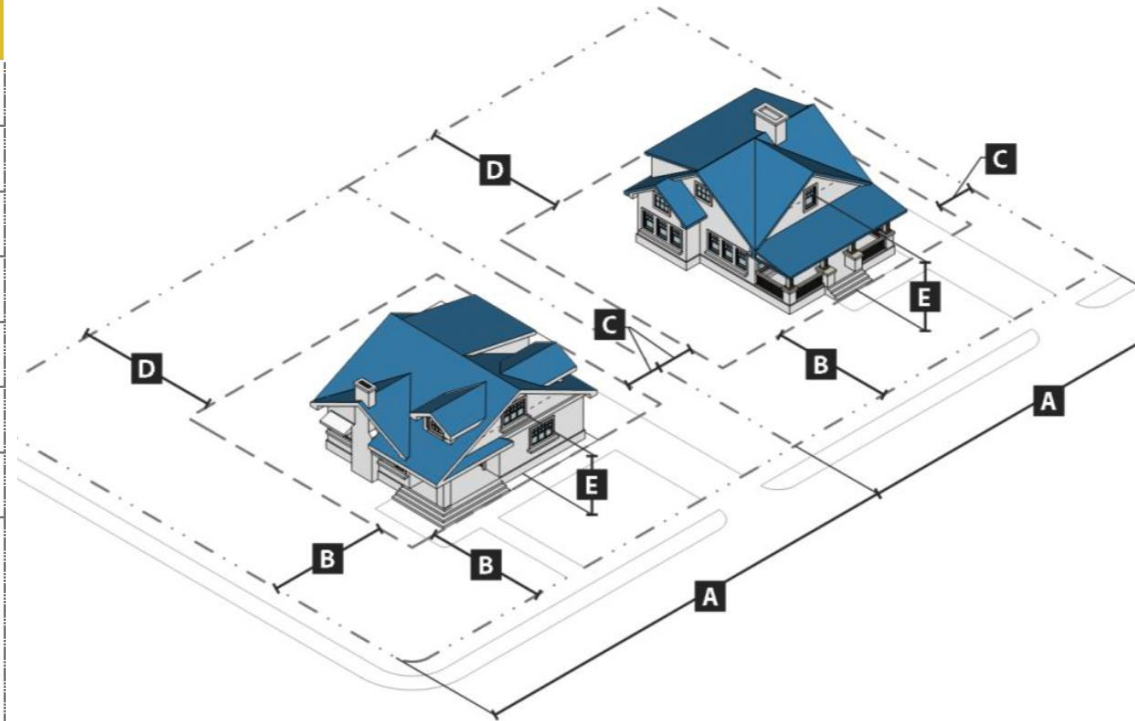
Carries forward and renames the R-2 district in the current Zoning Ordinance, with the following changes:

1. The aggregate 18-foot width requirement for lots with two side yards has not been included **as the minimum side yard requirement is nine feet**;
2. The required increase in side yard width for buildings in excess of 35 feet has not been carried forward, and
3. Standards relating to heights of accessory uses in Sec. 24-37 of the current Zoning Ordinance will be relocated to the accessory uses standards.

Single Family Residential 2

Table 4-14: SFR-2 Intensity and Dimensional Standards

	STANDARD	ALL USES
	Lot area (min)	9,000 sf
A	Lot width (min)	75 ft
B	Front setback (min)	30 ft [2]
C	Side setback (min)	9 ft
D	Rear setback (min)	35 ft
E	Building height (max)	35 ft
	Ground Coverage Ratio (max)	30 percent
NOTES		
[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet		
[2] The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 30 feet.		



Single Family Residential 3

The purpose of the Single Family Residential 3 (SFR-3) District is to provide lands for medium-lot suburban neighborhoods that accommodate single-family detached homes. The district is intended to support a low-density residential environment that may include compatible public, civic, and institutional uses.

Carries forward and renames the R-3 district in the current Zoning Ordinance, with the following changes:

1. the required increase in side yard width for buildings in excess of 35 feet has not been carried forward.
2. Standards relating to heights of accessory uses in Sec. 24-37 of the current Zoning Ordinance will be relocated to the accessory uses standards.

Single Family Residential 3

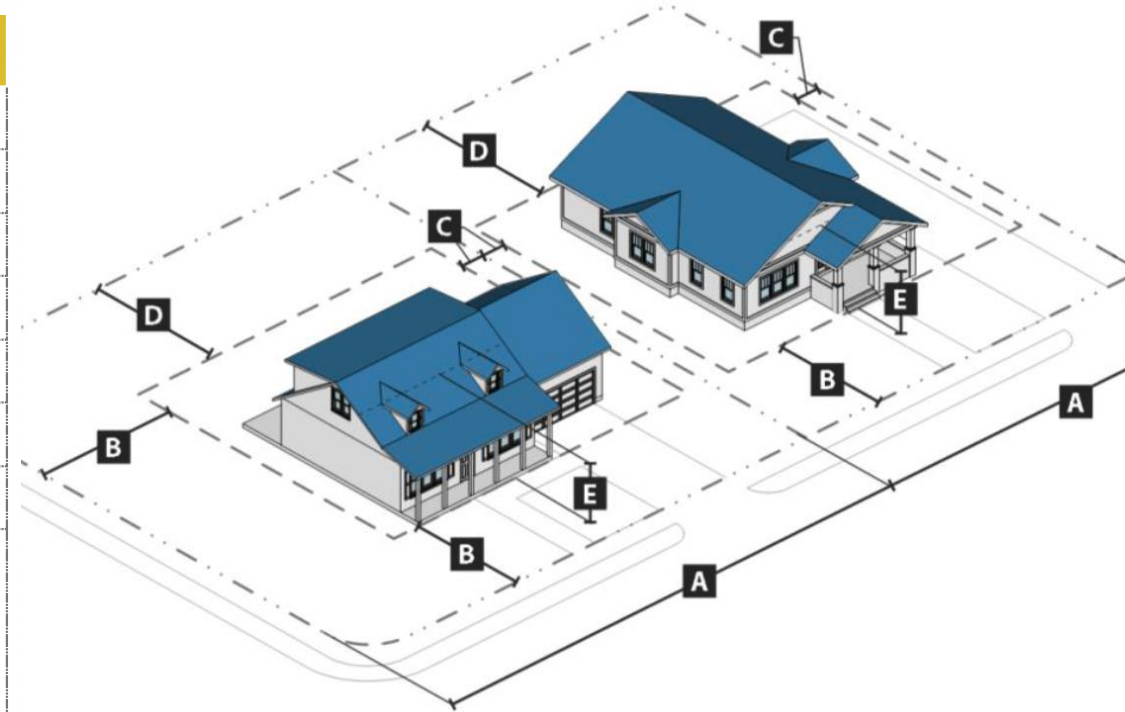
Table 4-16: SFR-3 Intensity and Dimensional Standards

	STANDARD	ALL USES
	Lot area (min)	7,500 sf
A	Lot width (min)	65 ft
B	Front setback (min)	25 ft [2]
C	Side setback (min)	5 ft; 14 ft combined both sides
D	Rear setback (min)	30 ft
E	Building height (max)	35 ft
	Ground Coverage Ratio (max)	35 percent

NOTES

[1] max = maximum; min = minimum; du = dwelling units; ft = feet; sf = square feet

[2] The minimum front setback may be decreased to the average alignment of existing buildings within 100 feet on either side of subject building and within the same block if such alignment is less than 25 feet.



Public Comment

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Next Steps

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Special Called Meeting Schedule

May 4, 2022

Open Space District (OS)
Institutional Districts (IU, IP, ISP)
Business Districts (GC, HC, NC) –
**Except Riverfront, Downtown, and
University Districts**
Industrial District (IL, IG, IH)

June 15, 2022

University Commercial District
(UC)
University Residential District
(MRU, MFRU)

July 20, 2022

Downtown Districts
Lake Commercial (LC)
Lake Residential (LR)
Lake Multifamily (LMF)

August 17, 2022

Downtown Districts (D, DP, DHE)
Riverfront District (R)

Full schedule on [Framework.Tuscaloosa.com](https://www.FrameworkTuscaloosa.com)

Provide comments

Framework.Tuscaloosa.com

1. Review the draft articles posted prior to each meeting
2. Submit comments
3. View the meeting schedule

The screenshot displays the 'FRAME/WORK' website header with the tagline 'Creating a dynamic guide for Tuscaloosa'. The navigation menu includes 'ZONING CODE UPDATE' (highlighted), 'COMPREHENSIVE PLAN', 'ABOUT', 'NEWS', and a search icon. The main content area features a yellow background with the title 'ZONING CODE UPDATE' and a paragraph: 'On February 17, 2021, the City of Tuscaloosa Planning Commission adopted the Framework Comprehensive Plan. The City is now undertaking the second major phase of Framework and one of the most important steps to take the plan to action – updating the zoning ordinance.' Below this text are three icons: a calendar, an open book, and two overlapping speech bubbles. Underneath each icon is a text label: 'About the zoning code update', 'Documents and work products', and 'Provide input and feedback'. A URL bar at the bottom left shows 'https://framework.tuscaloosa.com/zoning-code/'.



Adjourn

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