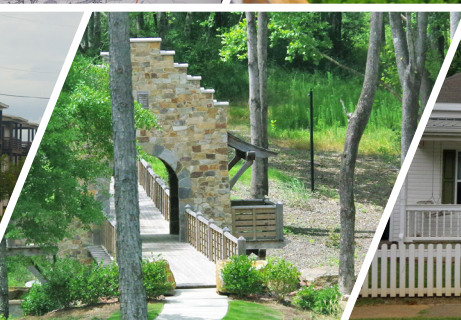




Tuscaloosa Zoning Ordinance

Special Call Meeting | May 2022

Open Space, Business, and Industrial Districts
(excluding Downtown, Lake, and Riverfront districts)



FRAMEWORK

Creating a dynamic guide for Tuscaloosa

SEC. 24-4.2. OPEN SPACE DISTRICT

SEC. 24-4.2.1. OPEN SPACE²⁸⁸

a. Purpose

The Open Space (OS) District is intended to provide lands in the City for open space, large public parks and trails, farmland, viewsheds, wildlife habitat, and related uses. The district is characterized by areas designed for active or passive recreation, public parks and trails, and natural areas.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

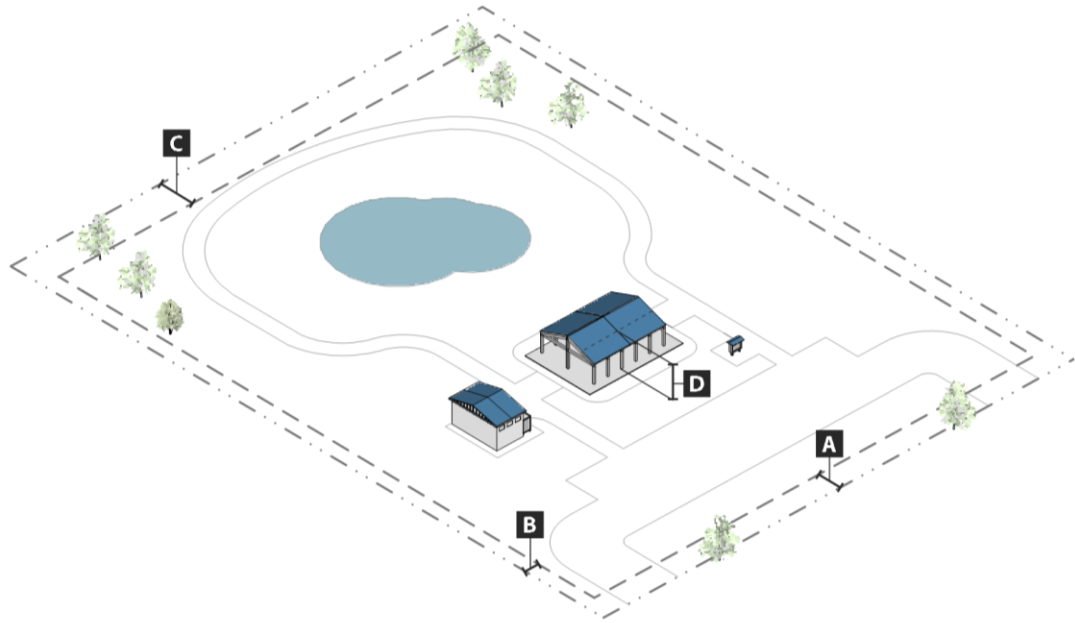
c. Intensity and Dimensional Standards

All development in the OS district shall comply with the standards in Table 4-1: OS Intensity and Dimensional Standards.

Table 4-1: OS Intensity and Dimensional Standards

	STANDARD [2]	ALL USES
	Lot area (min)	1 acre
A	Front setback (min)	15 ft
B	Side setback (min)	10 ft
C	Rear setback (min)	20 ft
D	Building height (max)	60 ft
	Ground Coverage Ratio (max)	15 percent
NOTES		
[1] max = maximum; min = minimum; ft = feet		
[2] Publicly-owned parks are not subject to these dimensional standards.		

²⁸⁸ The new OS district provides lands to accommodate passive and active parks and trails, farmland, viewsheds, wildlife habitat, and rural lands. This zoning district can generally be used to protect these types of lands that are owned by public entities. Private landowners in undeveloped and/or rural areas may also request to apply this zoning district.



a. References to Other Standards

Development in the OS district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-2: Cross-References to Other Standards.

Table 4-2: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.5.7. GENERAL COMMERCIAL³⁷⁶

a. Purpose

The purpose of the General Commercial (GC) District is to provide lands for the development of a wide range of nonresidential uses including office, commercial, employment and retail businesses, that may be developed in conjunction with residential uses, either in the same building or on the same development site.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

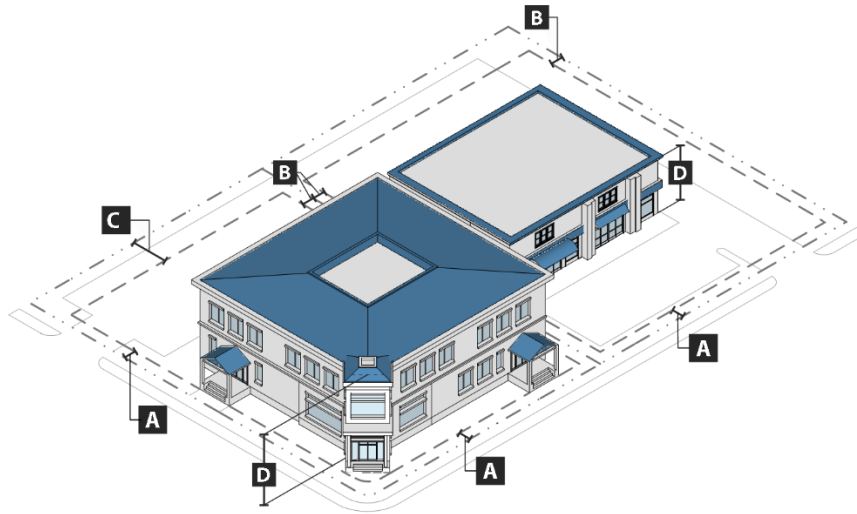
c. Intensity and Dimensional Standards

All development in the GC district shall comply with the standards in Table 4-48: GC Intensity and Dimensional Standards.

Table 4-48: GC Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Front setback (min)	The average alignment of existing buildings within 200 ft on either side of subject building and within the same block
B	Side setback (min)	5 ft
C	Rear setback (min)	15 ft
D	Building height (max)	60 ft
NOTES		
[1] max = maximum; min = minimum; ft = feet		

³⁷⁶ This is a new district intended for general commercial uses, primarily stand-alone but also in certain circumstances included also residential uses, that is typically accessed by automobile. Development standards are designed to implement the Corridor Commercial character type from the Framework plan.



d. Residential Development³⁷⁷

Residential dwelling units in new development and redevelopment are permitted only above a single story of a building that has only non-residential uses on its ground floor.

e. References to Other Standards

Development in the GC district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-49: Cross-References to Other Standards, to the extent they do not conflict with the standards in subsection d above.

Table 4-49: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

³⁷⁷ This provision restricts residential development to a single story of a building, with no residential uses on the ground floor, to ensure that the development in the district is primarily commercial.

SEC. 24-4.5.9. NEIGHBORHOOD COMMERCIAL³⁸¹

a. Purpose

The purpose of the Neighborhood Commercial (NC) District is to provide lands for a limited range of small-scale commercial uses within or at the edge of residential neighborhoods and along roadways. The district may apply to portions of a block, consisting of a few storefronts with limited on-site parking, and is intended for neighborhood-serving uses that are primarily pedestrian-oriented. The district regulations are intended to ensure that uses, development intensities, and development forms are consistent with this pedestrian-friendly and neighborhood scale. Second-floor residential development over ground floor commercial uses is also permitted at a scale and form that is consistent with district character.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

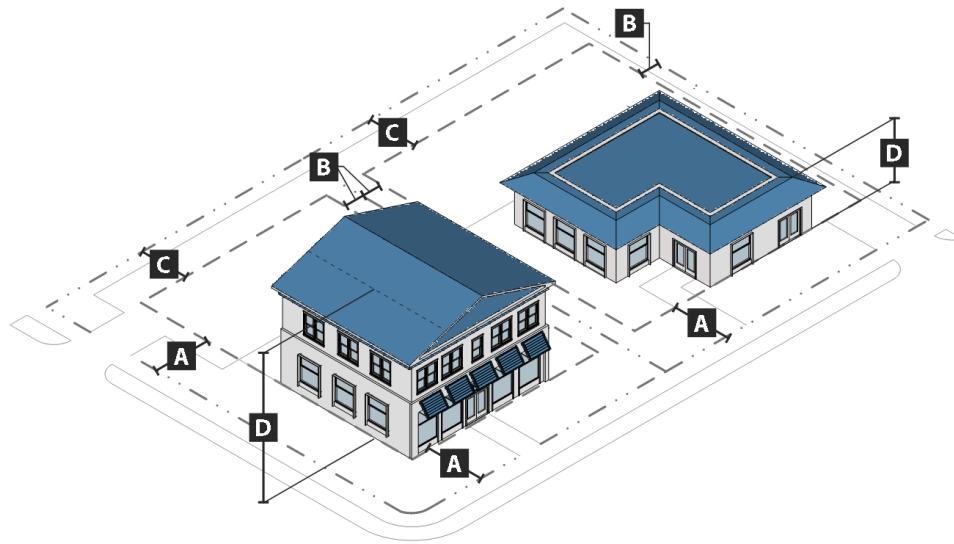
All development in the NC district shall comply with the standards in Table 4-52: NC Intensity and Dimensional Standards.

Table 4-52: NC Intensity and Dimensional Standards

	STANDARD	COMMERCIAL USE OR MULTIFAMILY DWELLING	ALL OTHER USES
A	Front setback (min)	[2] ³⁸²	[2]
B	Side setback (min)	5 ft [3]	5 ft [3]
C	Rear setback (min)	15 ft [3]	15 ft [3]
D	Building height (max)	35 ft (maximum 2 stories)	35 ft (maximum 2 stories)
	Building footprint (max)	7,000 sf	No maximum
NOTES			
[1] max = maximum; min = minimum; ft = feet; sf = square feet			
[2] The maximum setback shall be 20 feet along a street classified as a collector street or greater in the Major Street Plan of Tuscaloosa. The minimum setback shall be 20 feet along all other streets.			
[3] A wider perimeter buffer may be required along a side or rear lot line in accordance with Sec. 24-6.3.8, Perimeter Buffers.			

³⁸¹ This is a new district that supports human-scale, neighborhood-serving commercial development that is appropriate within the context of existing residential neighborhoods. Development standards are new and are designed to implement the Limited Commercial character type from the Framework plan. The purpose statement builds on the BNS intent statement in Sec. 24-51 of the Current Zoning Ordinance.

³⁸² Revised in this draft from 15 foot minimum setback to 20 foot minimum along a local street, 20 feet maximum along a collector or greater.



d. Parking Location³⁸³

All off-street parking shall be located to the side or rear of the principal structure, to the maximum extent practicable.

e. References to Other Standards

Development in the NC district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-53: Cross-References to Other Standards, to the extent they do not conflict with the standards in subsection d above.

Table 4-53: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

³⁸³ This standard is new. It is based on the Framework Comprehensive Plan direction for the Limited Commercial character type. This standard may be moved to the parking standards in Article 24-6: Development Standards. In this draft, revised to prefer but not require parking to the side or rear; previously this provision prohibited parking between the front of the principal structure and the public right-of-way.

SEC. 24-4.5.10. HIGHWAY COMMERCIAL³⁸⁴

a. Purpose³⁸⁵

The purpose of the Highway Commercial (HC) District is to provide lands for commercial uses serving the needs of people traveling on major roadways and for other auto-oriented, community- or region-serving commercial development located along major roadway corridors.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

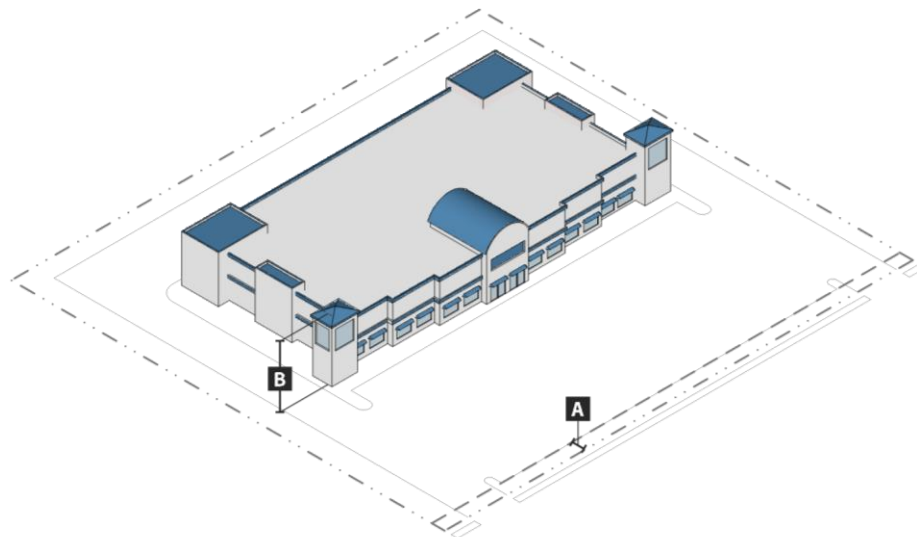
c. Intensity and Dimensional Standards

All development in the HC district shall comply with the standards in Table 4-54: HC Intensity and Dimensional Standards.

Table 4-54: HC Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Front setback (min)	20 ft
	Side setback (min)	0 ft
	Rear setback (min)	0 ft
B	Building height (max)	60 ft

NOTES
 [1] max = maximum; min = minimum; ft = feet



³⁸⁴ This carries forward, renames, and refines the Highway-Related Commercial Districts (BH) in the current Zoning Ordinance.

³⁸⁵ This builds on the intent statement for the BH district in Sec. 24-51 of the Current Zoning Ordinance with revisions to reference community-serving and region-serving commercial development, whereas the current intent statement references “auto-related businesses serving mainly the local market.” It incorporates guidance from the Corridor Commercial character type in the Comprehensive Plan.

d. References to Other Standards

Development in the HC district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-55: Cross-References to Other Standards.

Table 4-55: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.6. INDUSTRIAL DISTRICTS³⁸⁶

SEC. 24-4.6.1. GENERAL PURPOSE

The purpose of the Industrial districts is to:

- a. Provide appropriately-located lands for the full range of industrial uses needed by the City's residents, businesses, and workers, in accordance with the Comprehensive Plan;
- b. Strengthen the City's economic base, and provide employment opportunities close to home for residents of the City and surrounding communities;
- c. Support a range of uses dedicated to processing, manufacturing, assembly, warehousing, outdoor storage, and distribution of goods;
- d. Create suitable environments for uses that have heavy freight traffic, and which may generate noise, odors, or other impacts;
- e. Ensure industrial development is located and designed to protect and preserve the character of existing residential districts and neighborhoods;
- f. Improve the design quality of industrial areas; and
- g. Provide a place to locate uses that are generally incompatible with other uses in other zone districts.

SEC. 24-4.6.2. INDUSTRIAL LIGHT³⁸⁷

a. Purpose

The purpose of the Industrial Light (IL) District is to provide lands for research and development, light industrial, assembly, flex space and other business support uses in an attractive and high-quality form and setting, which minimizes impacts to adjacent lands. Uses allowed include research and development, other light industrial uses that are compatible with a general office environment (e.g., establishments primarily engaged in the transformation of previously prepared materials into new products, including the assembly of component parts), offices, warehousing and wholesale uses, compatible multifamily development, and limited retail, institutional, and service uses, and eating and drinking establishments that serve those employed at the light industrial and office development.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the IL district shall comply with the standards in Table 4-56: IL Intensity and Dimensional Standards.

³⁸⁶ The industrial districts in the current Zoning Ordinance are carried forward, renamed to be more consistent with their character, modernized, where appropriate, to allow for modern industrial uses, and refined to conform with the structure of the updated Zoning Ordinance. The Industrial Light(IL) district carries forward, modernizes, and refines the ML: Light Industrial District. The Industrial General (IG) district carries forward and refines the MG: General Industry district. The Industrial Heavy (IH) district carries forward and refines the MH: Heavy Industry district. In this draft, the performance standards that were carried forward from Sec. 24-73 in the current Zoning Ordinance have been removed at staff's request.

³⁸⁷ The Industrial Light (IL) district carries forward, modernizes, and refines the ML: Light Industrial District in the current Zoning Ordinance. The modifications better align the revised district with the type of light industry, assembly, flex space, and research uses the City wants to allow, encourage, and support.

Table 4-56: IL Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Front setback (min)	30 ft [2]
B	Side setback (min)	10 ft [4]
C	Rear setback (min)	15 ft [3] [4]
D	Building height (max)	45 ft ³⁸⁸

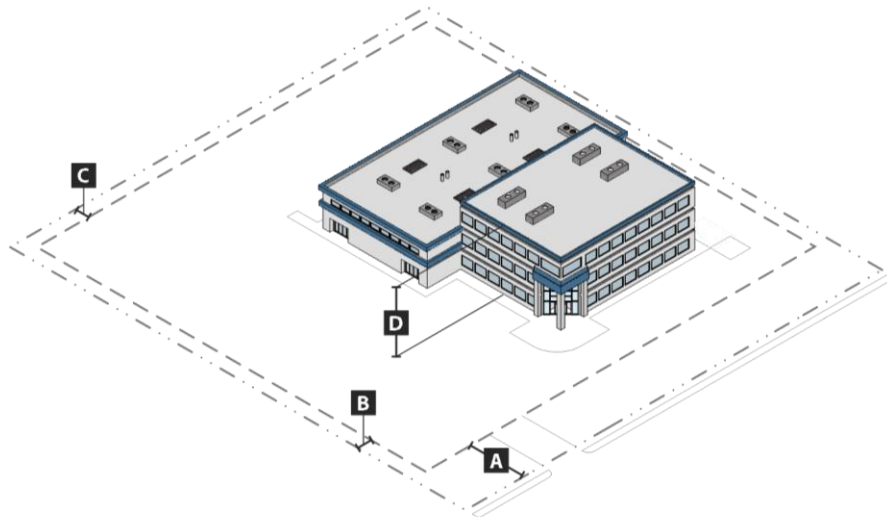
NOTES:

[1] max = maximum; min = minimum; ft = feet

[2] If there is an existing structure on the lot on [] [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side.³⁸⁹

[3] If lot abuts a lot in an industrial district.³⁹⁰

[4] If lot abuts a lot in a Residential district, development shall comply with Sec. 24-6.7, Neighborhood Compatibility Standards.³⁹¹



d. References to Other Standards

Development in the IL district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-57: Cross-References to Other Standards.

³⁸⁸ This carries forward the standard for the ML district in Sec. 24-74(d).

³⁸⁹ This carries forward the rule established in Sec. 24-74(b).

³⁹⁰ This carries forward the rule established in Sec. 24-74(c)(1) .

³⁹¹ This is a new standard.

Table 4-57: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.6.3. INDUSTRIAL GENERAL³⁹²

a. Purpose

The purpose of the Industrial General (IG) district is to provide lands for a range of indoor and outdoor industrial uses such as fabrication, extraction, manufacturing, assembly, processing, major utility uses, and bulk storage. District standards are intended to minimize impacts to adjacent residential land uses.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the IG district shall comply with the standards in Table 4-58: IG Intensity and Dimensional Standards.

Table 4-58: IG Intensity and Dimensional Standards

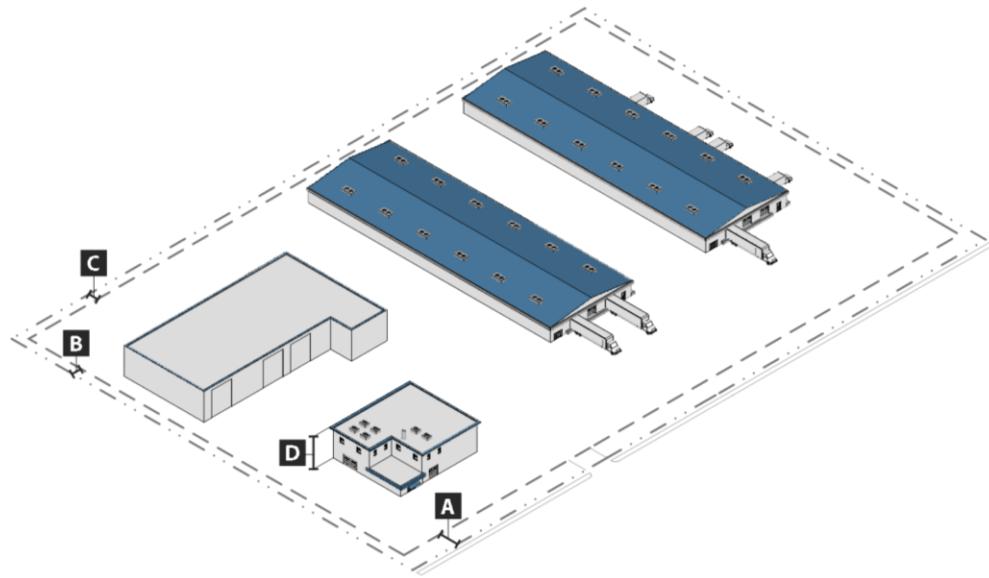
	STANDARD	ALL USES
A	Front setback (min)	20 ft [2]
B	Side setback (min)	15 ft [3]
C	Rear setback (min)	15 ft
D	Building height (max)	60 ft ³⁹³
<p>NOTES:</p> <p>[1] max = maximum; min = minimum; ft = feet</p> <p>[2] If there is an existing structure on the lot on [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side.³⁹⁴</p> <p>[3] If lot abuts a lot in a Residential district, development shall also comply with Sec. 24-6.7, Neighborhood Compatibility Standards.³⁹⁵</p>		

³⁹² The Industrial General (IG) district carries forward and refines the MG: General Industry district in the current Zoning Ordinance. Generally, the dimensional standards and uses in the current MG district are carried forward, unless otherwise noted.

³⁹³ This carries forward the standard established in Sec. 24-74(d).

³⁹⁴ This carries forward the rule established in Sec. 24-74(b).

³⁹⁵ This changes the rule established in Sec. 24-74(c)(1), and establishes a setback of 15 feet, and notes that if the industrial development is adjacent to a lot in a Residential district, it must also comply with the Neighborhood Compatibility Standards.



d. References to Other Standards

Development in the IG district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-59: Cross-References to Other Standards.

Table 4-59: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations

SEC. 24-4.6.4. INDUSTRIAL HEAVY³⁹⁶

a. Purpose

The purpose of the Heavy Industrial (IH) District is to provide lands for intense industrial development that generally requires large sites, as well as industrial uses that are important to the City’s economic growth but may impact adjacent lands. The uses generally involve greater potential for adverse off-site impacts on the environment and surrounding development (e.g. from dust, fumes, smoke, odor, noise, or vibration, or due to extensive movement of vehicles, materials, and goods). Allowed uses include heavy manufacturing, production, extraction, warehouse distribution, waste disposal, wholesale sales, major utility facilities, and research laboratories. District regulations are intended to encourage the reuse of existing industrial development. District development is intended to include buffers and the use of mitigation techniques to ensure heavy industrial development mitigates potential impacts to surrounding development.

b. Use Standards

Allowed uses and use-specific standards for principal, accessory, and temporary uses are established in Article 24-5: Use Regulations.

c. Intensity and Dimensional Standards

All development in the IH district shall comply with the standards in Table 4-60: IH Intensity and Dimensional Standards.

Table 4-60: IH Intensity and Dimensional Standards

	STANDARD	ALL USES
A	Front setback (min)	30 ft [2]
B	Side setback (min)	10 ft [3] / 40 ft [4]
C	Rear setback (min)	10 ft [3] / 40 ft [4]
D	Building height (max)	100 ft ³⁹⁷
NOTES: [1] max = maximum; min = minimum; ft = feet [2] If there is an existing structure on the lot on [redacted] [insert effective date of this Ordinance] that does not comply with the front setback standard of this table, the front setback of any new structure shall be setback more than the average of the front setback of any existing structures within 100 feet on either side. ³⁹⁸ [3] If lot abuts a lot in the IH or IG district. [4] If lot abuts a lot in the IL or a Business district, the side and rear setback shall be 40 feet. ³⁹⁹ If lot abuts a lot in a Residential district, the side and rear setback shall be at least 40 feet and shall also comply with Sec. 24-6.7, Neighborhood Compatibility Standards. ⁴⁰⁰		

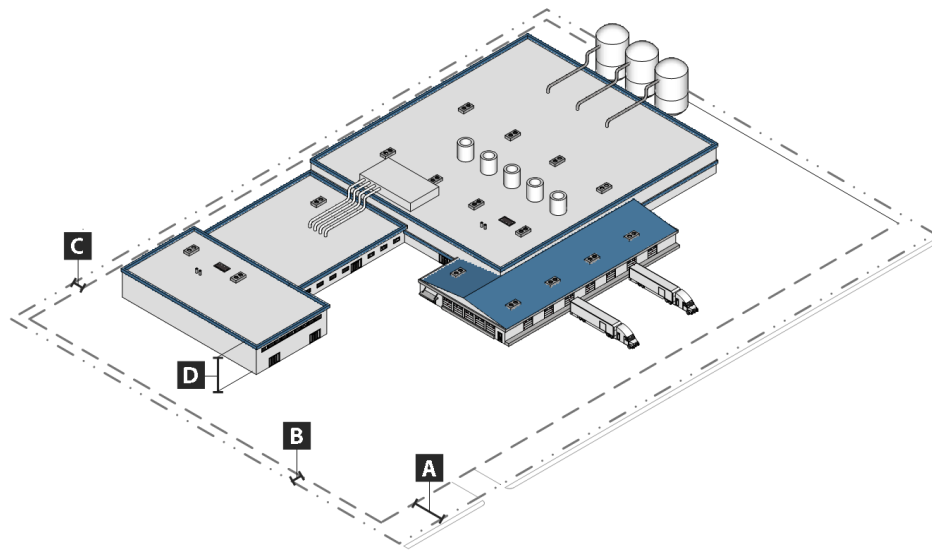
³⁹⁶ The Industrial Heavy (IH) district carries forward and refines the MH: Heavy Industry district in the current Zoning Ordinance. Generally, the dimensional standards and uses in the current MH district are carried forward, unless otherwise noted.

³⁹⁷ The current Zoning Ordinance does not have a maximum height for the MH district. A maximum height standard of 100 feet is added here.

³⁹⁸ This carries forward the rule established in Sec. 24-74 (b).

³⁹⁹ In this draft, the rule established in Sec. 24-74 (c)(2)(b) of the current Zoning Ordinance has been modified to remove the extra 2 feet setback requirement for every 15 feet of building height.

⁴⁰⁰ This is a new requirement that applies if development in the IH district abuts a Residential district.



d. References to Other Standards

Development in the IH district shall comply with all applicable standards of this Zoning Ordinance and the Subdivision Regulations, including but not limited to the standards referenced in Table 4-61: Cross-References to Other Standards.

Table 4-61: Cross-References to Other Standards

SECTION	STANDARD	SECTION	STANDARD
Sec. 24-6.1	Mobility and Connectivity Standards	Sec. 24-6.7	Neighborhood Compatibility Standards
Sec. 24-6.2	Off-Street Parking, Bicycle Parking, and Loading Standards	Sec. 24-6.8	Form and Design Standards
Sec. 24-6.3	Landscape and Buffer Standards	Sec. 24-6.9	Green Building Standards
Sec. 24-6.4	Open Space Set-Aside Standards	Sec. 24-6.10	Green Building Incentives
Sec. 24-6.5	Fence and Wall Standards	Sec. 24-6.11	Signs and Billboards
Sec. 24-6.6	Exterior Lighting Standards		Subdivision Regulations